



BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY, ESSEX COUNTY, NEW JERSEY



OWNER

VALLEY NATIONAL BANK
1455 VALLEY ROAD
WAYNE, NEW JERSEY 07470

APPLICANT

LIN AVE REALTY GROUP, LLC
222 ROUTE 59, SUITE 300
SUFFERN, NEW YORK 10901

[illegible]

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PRELIMINARY & FINAL SITE PLAN PROPOSED PARKING LOT AND ASSOCIATED SITE IMPROVEMENTS

**BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY**

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER



STONEFIELD
engineering & design

SCALE:	AS SHOWN	PROJECT ID:	T-18177
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TITLE:

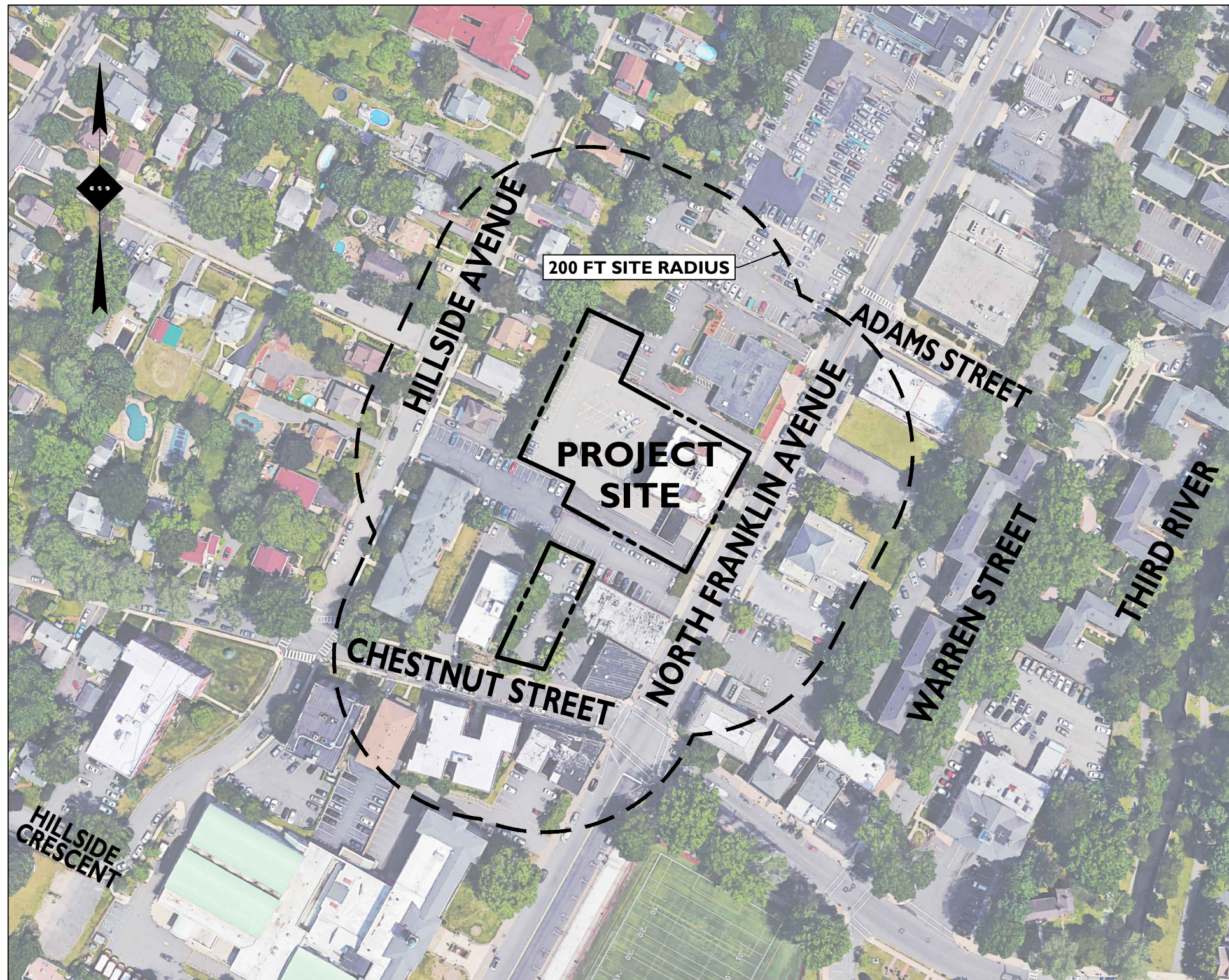
COVER SHEET

DRAWING:

C-

TOWNSHIP OF NUTLEY 200' PROPERTY OWNERS LIST			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
4400	1	PASCAEC COMMUNITY BANK	356 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	2	UNITED STATES POST OFFICE	370 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	3	FRANKLIN 378 LLC	378 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	4	BALLENT REALTY ASSOCIATES, LLC	127 S. WASHINGTON AVENUE, BERGENFIELD, NJ 07621
4400	5	386 FRANKLIN REALTY, LLC	386 FRANKLIN AVENUE, NUTLEY, NJ 07110
4400	6	VILLAGE MANOR ASSOCIATES	P.O. BOX 807, HACKENSACK, NJ 07601
4400	8	KVT CONSULTING, LLC	73 SHINDLER WAY, FAIRFIELD, NJ 07004
4600	11	BILLONES, GREEN C. & ELISA K.	25 HILLSIDE AVENUE, NUTLEY, NJ 07110
4600	12	GONICK, TRAVIS & DIANA	21 HILLSIDE AVENUE, NUTLEY, NJ 07110
4600	13	TOSADO, RAUL	15 HILLSIDE AVENUE, NUTLEY, NJ 07110
4600	14	SIMONETNY, JOSE & SUSANA	9 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	14	IBRAHIM, EMAN T.	49 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	15	CANOVA, MATTHEW & LARISSA	45 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	16	OLIVARI, EDWARD & YVONNE	14 HILLSIDE AVENUE, NUTLEY, NJ 07110
4601	17	GIARRAFFA, ROBERT & TORRES, A	460 26TH STREET APT. B, NORTH BERGEN, NJ 07047
4601	18	PARIS, MICHELE	35 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	1	HILLSIDE MANOR CONDOMINIUMS	6-12 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	2	NORA ADAMS FAMILY TRUST	85 THY AVENUE, HAWTHORNE, NJ 07056
4602	3	WALSIFER, MICHAEL P JR & CORINNE, DIANA	30 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	4	ROLLINO, PASQUALE & ROLLINO, MARIA	32 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	5	RASUL, RAFIQUE & ROSSANA RASUL	36 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	6	KIM, DONG WOO & CHUNG, RAN	38-40 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	7	LAMBERTI, FRANK A.	48 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	8	MC DEVITT, PATRICK & CYNTHIA	50 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	9	JIMAN, ROBERT B	54 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	16	INFUSINO & LOCURCIO TIA VINTOM ASSOCIATES	437 FRANKLIN AVENUE, NUTLEY, NJ 07110
4602	17	VINTOM ASSOCIATES	437 FRANKLIN AVENUE, NUTLEY, NJ 07110
4602	18	VINTOM ASSOCIATES	437 FRANKLIN AVENUE, NUTLEY, NJ 07110
4602	19	SPENCER SAVINGS BANK, SLA	611 RIVER DRIVE #3, ELMWOOD PARK, NJ 07407
4602	21	HIFI REAL ESTATE, LLC	361 FRANKLIN AVENUE, 2ND FL, NUTLEY, NJ 07110
4602	22	HIFI REAL ESTATE, LLC	361 FRANKLIN AVENUE, 2ND FL, NUTLEY, NJ 07110
4602	23	349 FRANKLIN REALTY, LLC	8 HARDING AVENUE, NORTH CALDWELL, NJ 07066
4602	24	VALLEY NATIONAL BANK - PROP MGMT DEPT	1720 STATE ROUTE 23, WAYNE, NJ 07470
4602	25	CHESTNUT STREET MANOR	276 CHESTNUT STREET, NUTLEY, NJ 07110
4602	I-C0022	BUCCI, NICHOLAS	6-12 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	I-C0023	MCCLELLAN, LOIS JEAN	6-12 HILLSIDE AVENUE 3-B, NUTLEY, NJ 07110
4602	I-C0024	RYDER, MICHAEL	91 ALEXANDER AVENUE, NUTLEY, NJ 07110
4602	I-C0101	SAMAD, ZENA	81 DEVONSHIRE ROAD, CEDAR GROVE, NJ 07009
4602	I-C0102	RICH, LILLIAN	6-12 HILLSIDE AVENUE 1-B, NUTLEY, NJ 07110
4602	I-C0103	DEMICO, VITO	6-12 HILLSIDE AVENUE, NUTLEY, NJ 07110
4602	I-C0104	CATALDO, RONALD M. & PATRICIA C.	131 SPRING LAKE BOULEVARD, WARTON, NJ 08758
4602	I-C0105	D'ALOIA, CARMINE P.	6-12 HILLSIDE AVENUE 1-E, NUTLEY, NJ 07110
4602	I-C0106	LOCURCIO, ANTOINETTE	6-12 HILLSIDE AVENUE 1-F, NUTLEY, NJ 07110
4602	I-C0107	GONZALEZ, JOSE	12 HILLSIDE AVENUE 1-G, NUTLEY, NJ 07110
4602	I-C0108	SINISI, LYNORE M.	12 HILLSIDE AVENUE 1-H, NUTLEY, NJ 07110
4602	I-C0109	URBANOVICH, STEPHEN	6-12 HILLSIDE AVENUE 1-I, NUTLEY, NJ 07110
4602	I-C0110	MUZZICATO, ANNA	6-12 HILLSIDE AVENUE 1-K, NUTLEY, NJ 07110
4602	I-C0201	FRAHM, ROBYN	6 HILLSIDE AVENUE 2-A, NUTLEY, NJ 07110
4602	I-C0202	GOLUB, STEPHEN	6-12 HILLSIDE AVENUE 2-B, NUTLEY, NJ 07110
4602	I-C0203	PEREIRA, JONATHAN	6-12 HILLSIDE AVENUE 2-C, NUTLEY, NJ 07110
4602	I-C0204	DOLAN, JOHN	283 GRANT AVENUE, NUTLEY, NJ 07110
4602	I-C0205	FUSARO, LOUIS S. JR.	6-12 HILLSIDE AVENUE 2-E, NUTLEY, NJ 07110
4602	I-C0206	ZWEIL, NANCY E.	6-12 HILLSIDE AVENUE 2-F, NUTLEY, NJ 07110
4602	I-C0207	PIPI, ANNE MARIE	12 HILLSIDE AVENUE 2-G, NUTLEY, NJ 07110
4602	I-C0208	SAHITI, ADEM	6-12 HILLSIDE AVENUE 2-H, NUTLEY, NJ 07110
4602	I-C0209	LAGRONE, KATHLEEN E. & DANIEL	6-12 HILLSIDE AVENUE #2, NUTLEY, NJ 07110
4602	I-C0210	MOORE, DANIEL	1121 ESTELLE STREET, POINT PLEASANT, NJ 08743
4602	I-C0301	WEBER, LISA	6-12 HILLSIDE AVENUE 3-A, NUTLEY, NJ 07110
4602	I-C0302	RIGGI, NICHOLAS	6-12 HILLSIDE AVENUE 3-B, NUTLEY, NJ 07110
4602	I-C0303	EAGLE, PAUL	6-12 HILLSIDE AVENUE 3-C, NUTLEY, NJ 07110

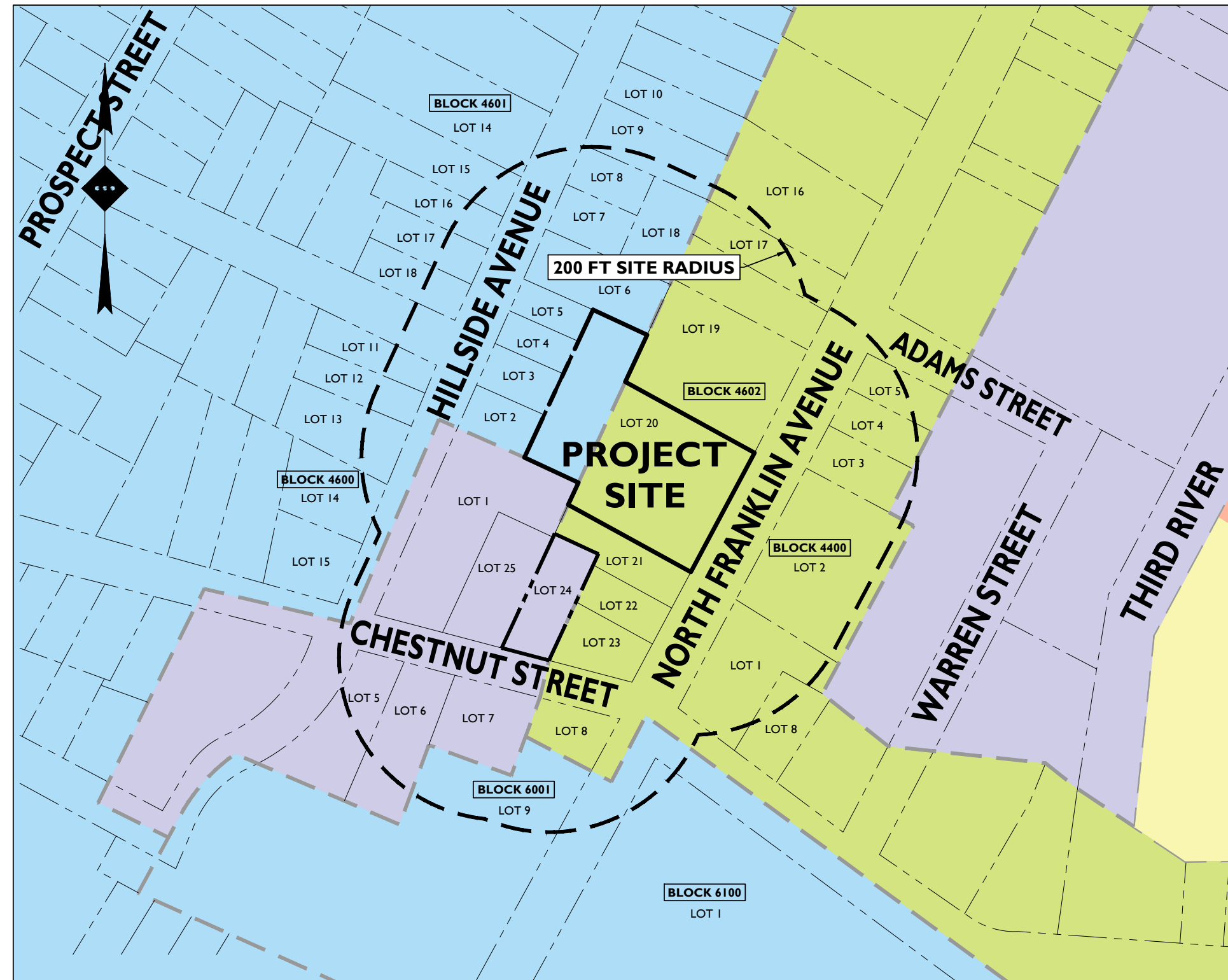
TOWNSHIP OF NUTLEY 200' PROPERTY OWNERS LIST (CONTINUED)			
BLOCK	LOT	OWNER	OWNER'S ADDRESS
4602	1-C-0304	EAGLE, PAUL	6-12 HILLSIDE AVENUE 3-D, NUTLEY, NJ 07110
4602	1-C-0305	HARING, LENORE	71 EDISON AVENUE, NUTLEY, NJ 07110
4602	1-C-0306	MILLS, NANCY & CARNEVALE, ANGELA	12 HILLSIDE AVENUE 3-F, NUTLEY, NJ 07110
4602	1-C-0307	AHR, KIMBERLEY	38 BROOKDALE AVENUE, CEDAR GROVE, NJ 07009
4602	1-C-0308	FORSYTH, BARBARA	6-12 HILLSIDE AVENUE 3-H, NUTLEY, NJ 07110
4602	1-C-0309	VASSILEV, LYUBOMIR	6-12 HILLSIDE AVENUE 3-J, NUTLEY, NJ 07110
4602	1-C-0310	CORBO, KATHY	6-12 HILLSIDE AVENUE 3-K, NUTLEY, NJ 07110
4602	25-C0021	MCMAHON, LYNN M & ZOON, CYNTHIA A	48 CENTRE STREET, NUTLEY, NJ 07110
4602	25-C0100	CONSUL, MARK A.	276 CHESTNUT STREET 1-G, NUTLEY, NJ 07101
4602	25-C0201	GONNELLI, CARMELA	15 PAYNE AVENUE, MIDLAND PARK, NJ 07432
4602	25-C0202	SILVESTRI, JAMES & ALICIA	276 CHESTNUT STREET 2-B, NUTLEY, NJ 07110
4602	25-C0203	GIANNICO, GIAMPIERO	276 CHESTNUT STREET 2-C, NUTLEY, NJ 07110
4602	25-C0301	RODRIGUEZ, JESSICA	8 SURREY LANE, MONTAINE, NJ 07645
4602	25-C0302	CAMPANELLA, MICHAEL	276 CHESTNUT STREET 3-B, NUTLEY, NJ 07110
4602	25-C0303	RUSIGNUOLO, NICOLE	276 CHESTNUT STREET 3-C, NUTLEY, NJ 07110
6100	1	BOARD OF EDUCATION TWP OF NUTLEY	375 BLOOMFIELD AVENUE, NUTLEY, NJ 07110
6001	5	1169 CO. C/O AFFILIATED MANAGEMENT	301 S LIVINGSTON AVENUE STE, LIVINGSTON, NJ 07039
6001	6	BENEVEGUA SIBLINGS LTD, PARTNERSHIP	639 PAGE AVENUE, LYNDHURST, NJ 07071
6001	7	GLENREAL EQUITIES LLC	210 RIVER STREET, HACKENSACK, NJ 07601
6001	8	NUTLEY NORSE, LLC	210 RIVER STREET, HACKENSACK, NJ 07601
6001	9	NUTLEY BOARD OF EDUCATION	375 BLOOMFIELD AVENUE, NUTLEY, NJ 07110



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 100'±



SOURCE: TOWNSHIP OF NUTLEY ZONING MAP & TOWNSHIP OF NUTLEY TAX MAP

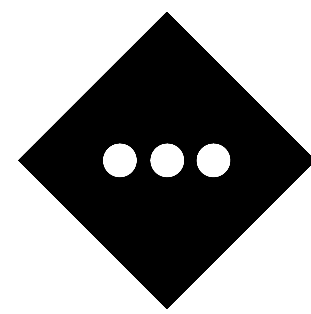
TAX / ZONING MAP

SCALE: 1" = 100'±

SHEET INDEX	
DRAWING TITLE	SHEET #
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PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
- ALTA / NSPS LAND TITLE SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN DATED 04/18/2019
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - ZONING MAP OBTAINED FROM TOWNSHIP OF NUTLEY ZONING MAP
 - TAX MAP OBTAINED FROM TOWNSHIP OF NUTLEY TAX MAPS
 - KEY MAP OBTAINED FROM USGS MAPS ONLINE
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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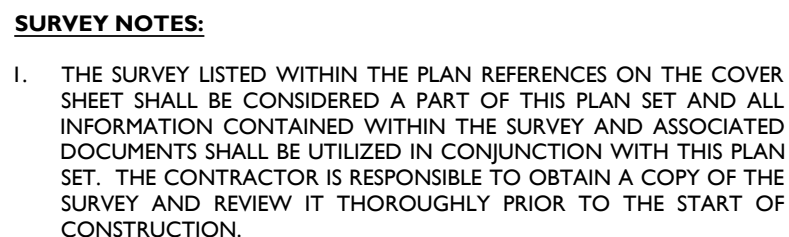
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|--|--|
| <u>AREA NOTES</u>

TOTAL LAND AREA
52,730 S.F. OR 1.2 AC. | <u>EXISTING STRIPED PARKING</u>

REGULAR = 49 SPACES
HANDICAP = 2 SPACES
<hr/> TOTAL = 51 SPACES |
|--|--|

1. THE ADDRESS FOR THIS PROPERTY IS 367 FRANKLIN AVENUE & 272 CHESTNUT STREET FROM RECORD DOCUMENTS.
2. THIS SURVEY OF THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING 03/07/2019 BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE.
3. THIS SURVEY IS VALID ONLY WHEN AN EMOSSUED SEAL IS AFFIXED HERETO.
4. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
5. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPEARANCES AND RECORDS. THE LOCATION OF ANY UNDERGROUND UTILITIES NOT SHOWN ON THIS SURVEY AND UTILITY SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
6. THE ELEVATION REFERRED TO THE N STATE PLANE COORDINATE SYSTEM, NAD 83 (2011). ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV83), ESTABLISHED VIA RTK GPS OBSERVATIONS.
7. THE PROPERTY HAS DIRECT ACCESS TO FRANKLIN AVENUE & CHESTNUT STREET.
8. THE PROPERTY HAS BEEN OWNED BY DAVID WAXNER AND JENNIFER WAXNERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, c.4 (C458-363) AND N.J.A.C. 13-40-5.1(D).

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 340191, MAP NUMBER 34013C0108F WHICH BEARS AN EFFECTIVE DATE OF 06/04/2007.



SYMBOL	DESCRIPTION
	PROPERTY LINE
	UNDERGROUND GAS LINE
	CABLE & TELEPHONE SERVICE
	UNDERGROUND SANITARY LATERAL SIGNS/ BOLLARDS
	CHAINLINK FENCE
	GUIDE RAIL
	CONTOUR
	GRADE SPOT SHOT
	TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	TOP OF WALL / BOTTOM OF WALL SPOT SHOT
	BUILDING
	CONCRETE SIDEWALK / MAT
	ASPHALT / CONCRETE / BELGIAN BLOCK CURB
	DEPRESSED CURB
	INLET
	WATER VALVE
	GAS VALVE
	FIRE HYDRANT
	LIGHT POLE
	POLE
	ELECTRIC BOX
	ASPHALT EDGE
	CONCRETE EDGE
	BRICK EDGE
	OVERHEAD WIRE
	SANITARY MANHOLE
	STORM MANHOLE
	UNKNOWN MANHOLE
	WALL
	BUILDING OVERHANG
	BENCHMARK
	STORM PIPE
	TRENCH DRAIN
	PARKING METER
	FOUND PIPE

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**BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY**

PRELIMINARY & FINAL SITE PLAN

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER



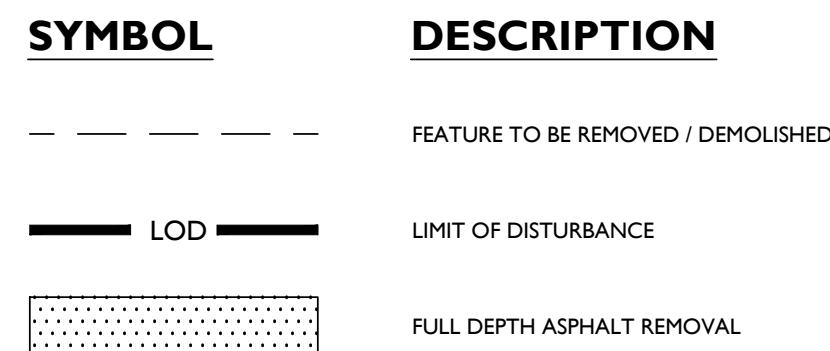
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TITLE:

**EXISTING CONDITIONS
PLAN**

DRAWING:

C-2



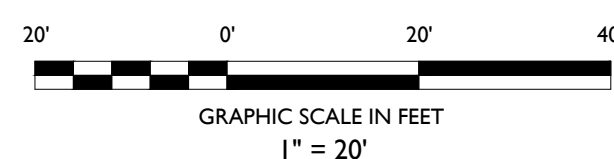
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's **below**
Call before you dig.

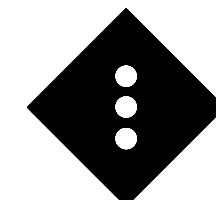
DEMOLITION NOTES

- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR THE REVIEW OF THE DEMOLITION PLAN AND THE RECORDS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM THE OWNER AND A SUITABLE GOVERNING AGENCY HAS BEEN OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF ADJACENT AREAS AND DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL UTILITIES ARE ASSIGNED TO THE CONTRACTOR TO BE REMOVED. REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL, AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- DEMOLISHED DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL DEMOLISHED DEBRIS SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND TO BE IN COMPLIANCE WITH THE ABOVE REGULATIONS.

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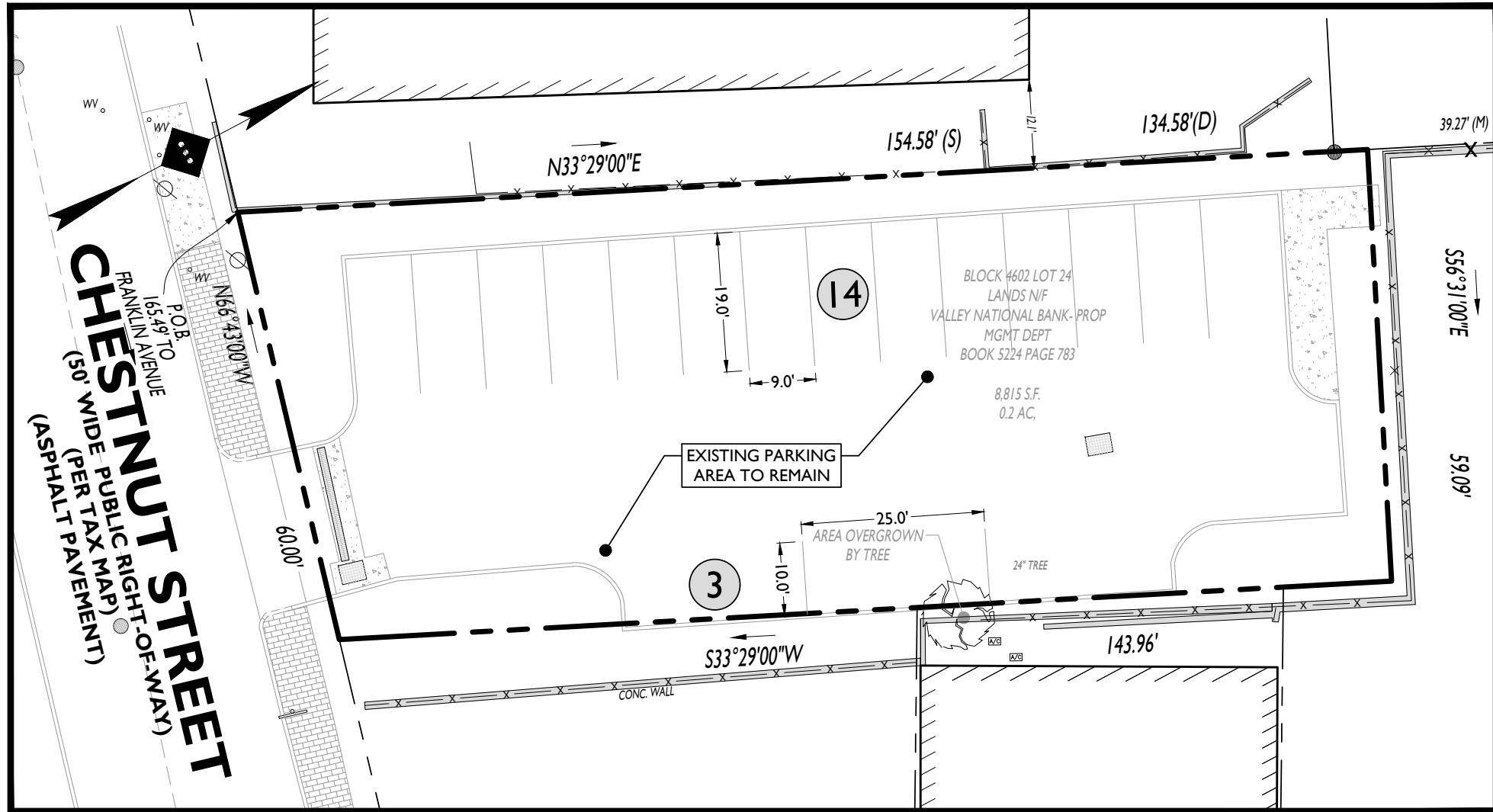
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TITLE:

DEMOLITION PLAN

DRAWING:

C-3



OFF-SITE PARKING LOT INSET

TABLE OF LAND USE AND ZONING		
BLOCK 4602, LOT 24		
INTERIOR RESIDENTIAL LOT (R-3)		
PROPOSED USE	EXISTING APPROVED USE	
ZONING REQUIREMENT	REQUIRED	EXISTING
MINIMUM LOT AREA	5,000 SF	8,814 SF (0.20 AC)
MINIMUM LOT WIDTH	50 FT	59.0 FT
MINIMUM LOT DEPTH	100 FT	143.9 FT
MAXIMUM IMPERVIOUS COVERAGE	70% (6,170 SF)	78.0% (6,879 SF)(EN)
RESIDENTIAL PARKING BUFFER	6 FT	4.9 FT (EN)

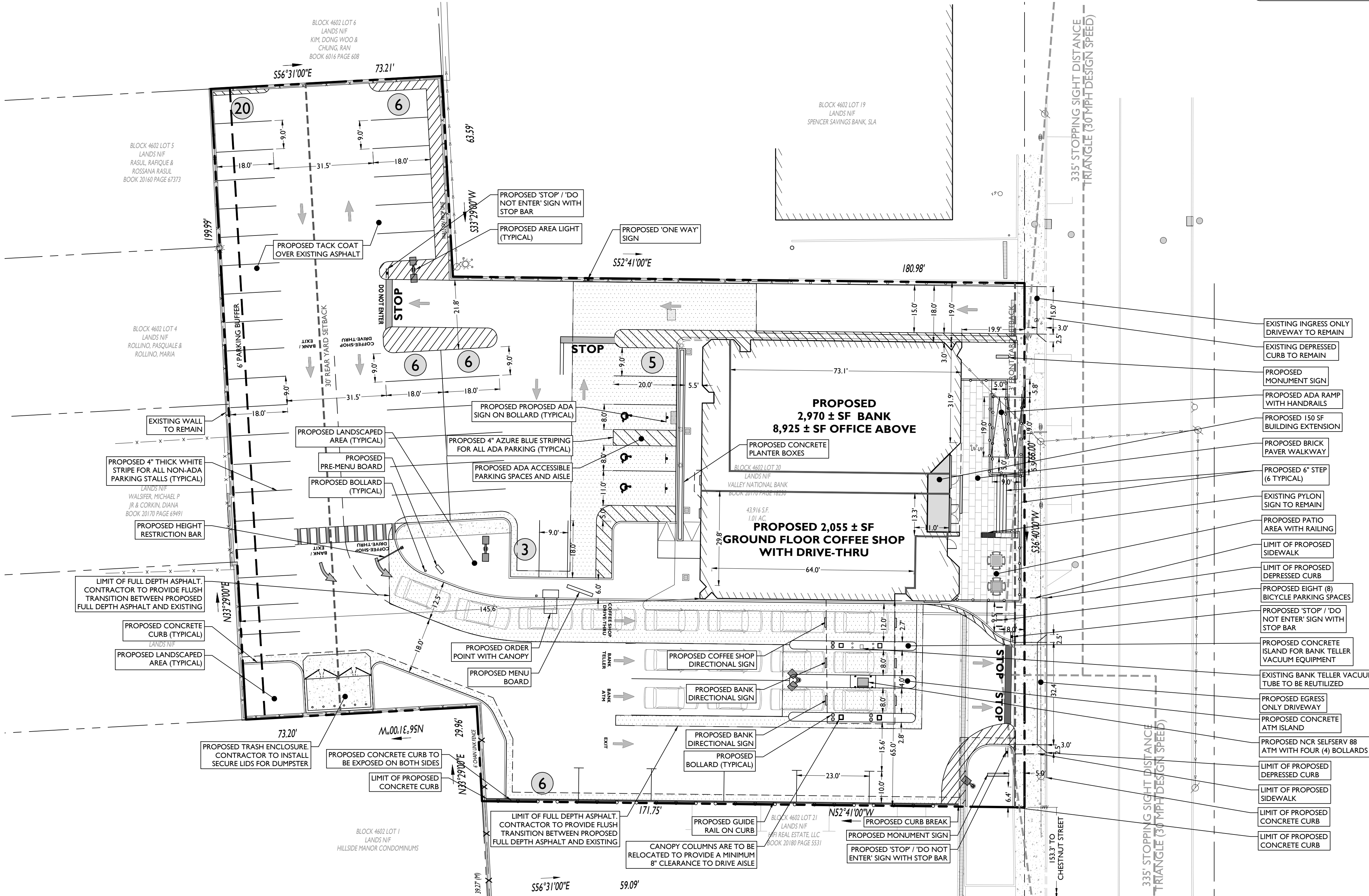
(EN) EXISTING NON-CONFORMITY

TABLE OF LAND USE AND ZONING			
BLOCK 4602, LOT 20			
DOWNTOWN BUSINESS ZONE (B-3)			
PROPOSED USE	PERMITTED USE		
COFFEE SHOP WITH DRIVE-THRU	PERMITTED USE		
BANK	PERMITTED USE		
OFFICE	PERMITTED USE		
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	3,000 SF	43,915 SF (1.01 AC)	43,915 SF (1.01 AC)
MINIMUM LOT WIDTH	30 FT	166.0 FT	166.0 FT
MINIMUM LOT DEPTH	100 FT	171.7 FT	171.7 FT
MAXIMUM IMPERVIOUS COVERAGE	90% (39,523 SF)	97.5% (42,802 SF)(EN)	96.9% (42,571 SF)(EN)
MAXIMUM BUILDING COVERAGE	50% (21,957 SF)	14.6% (6,423 SF)	14.6% (6,423 SF)
MAXIMUM BUILDING HEIGHT	3 STORIES (40 FT)	3 STORIES (40 FT)	3 STORIES (40 FT)
MINIMUM FRONT YARD SETBACK	3 FT	19.9 FT	19.9 FT
MINIMUM REAR YARD SETBACK	30 FT	145.6 FT	145.6 FT
RESIDENTIAL PARKING BUFFER	6 FT	0 FT (EN)	0 FT (EN)

(EN) EXISTING NON-CONFORMITY

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 700-91	RETAIL: 1 SPACE PER 200 SF (2,038 SF)(1/200 SF) = 11 SPACES BANKS: 1 SPACE PER 200 SF (2,975 SF)(1/200 SF) = 10 SPACES OFFICES: 1 SPACE PER 300 SF (8,925 SF)(1/300 SF) = 30 SPACES TOTAL: 11 + 10 + 30 = 51 SPACES	52 SPACES (ON-SITE) 17 SPACES (ON BLOCK 4602, LOT 24)

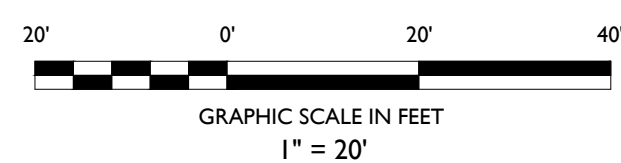
SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	SETBACK LINE
=====	PROPOSED CURB
=====	PROPOSED DEPRESSED CURB
=====	PROPOSED FLUSH CURB
○ ○ ○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
△ △ △	PROPOSED CONCRETE
○ ○	PROPOSED HANDRAIL
□	PROPOSED BUILDING DOORS
□	PROPOSED TABLE
□	PROPOSED BIKE RACK
■	PROPOSED FULL DEPTH ASPHALT



NORTH FRANKLIN AVENUE
(60' WIDE PUBLIC RIGHT-OF-WAY)
(PER TAX MAP)
(ASPHALT PAVEMENT)

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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PRELIMINARY & FINAL SITE PLAN
PROPOSED PARKING LOT AND
ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: T-18177

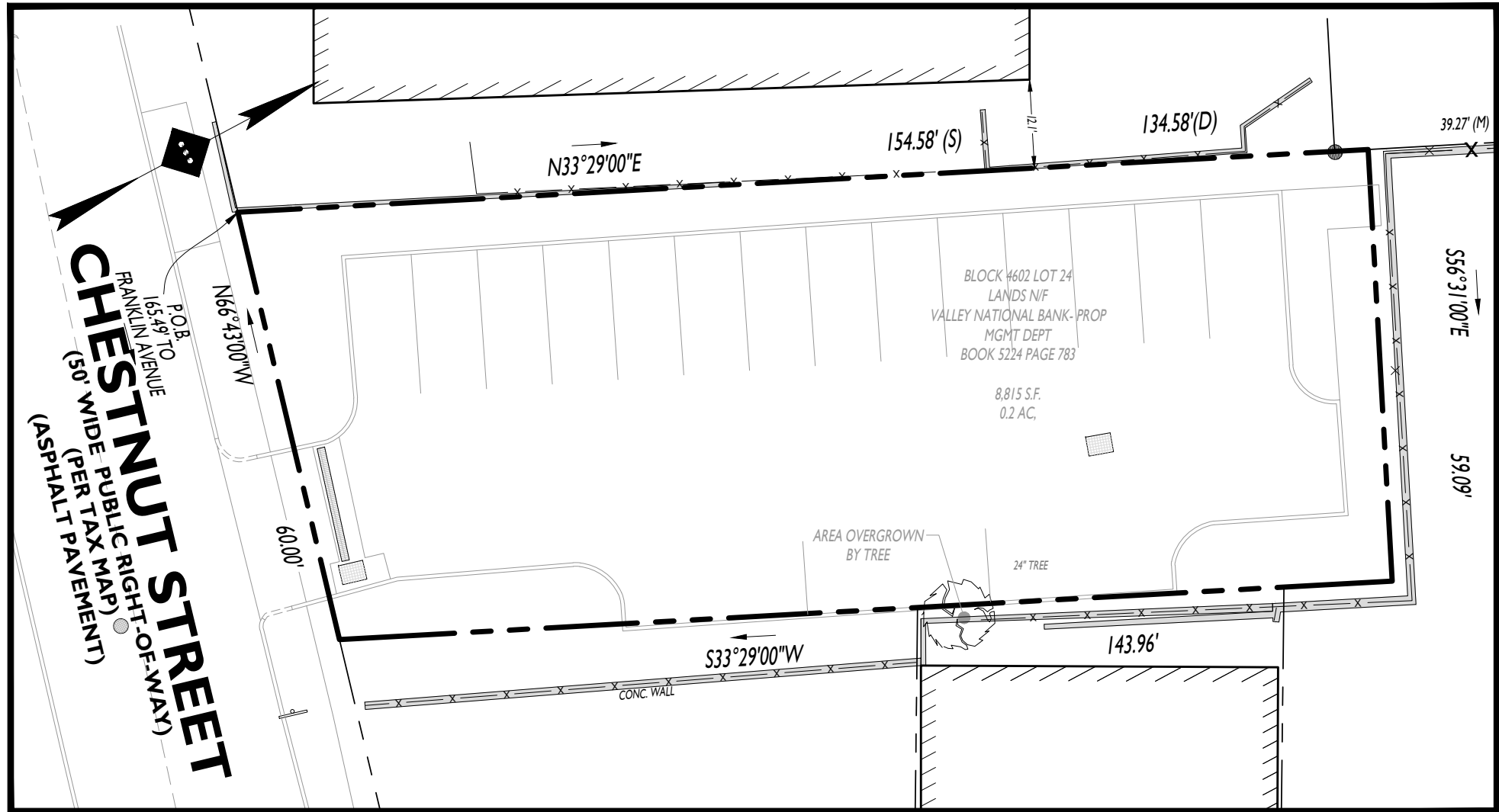
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SITE PLAN

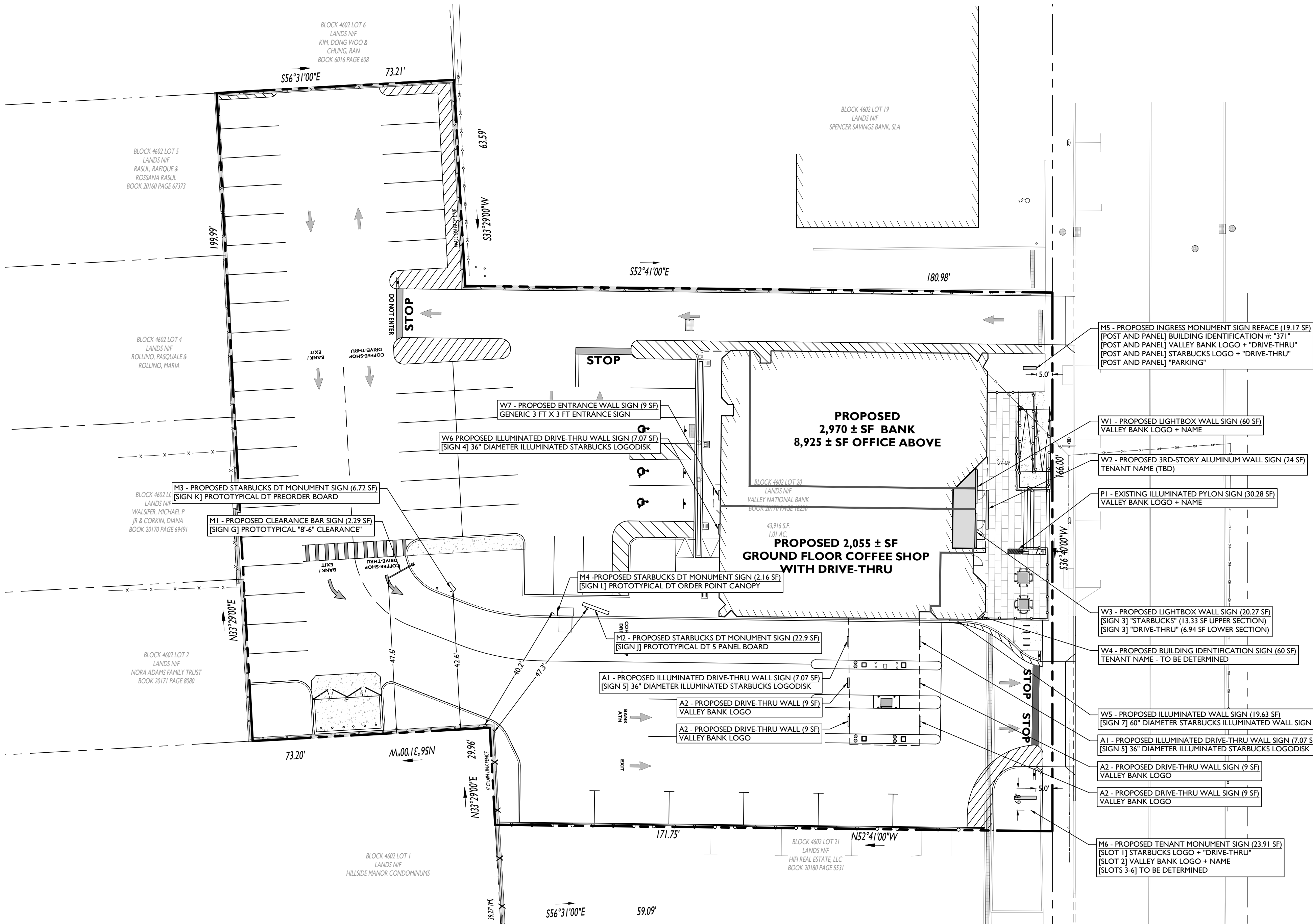
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T:\2018\18177 NEWARK INQUIRIES - 371 FRANKLIN AVENUE - NUTLEY - NCADSP\LOT 20P-6 SIGNAGE



OFF-SITE PARKING LOT INSET



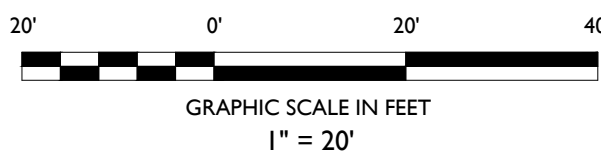
NORTH FRANKLIN AVENUE
(60' WIDE PUBLIC RIGHT-OF-WAY)
(PER TAX MAP)
(ASPHALT PAVEMENT)

SIGNAGE REQUIREMENTS						
CODE SECTION	REQUIRED	PROPOSED				
§ 700-83.B(2)	TOTAL SIGN AREA (GROUND + WALL): 123.15 SF*	429.90 SF (V)				
GROUND SIGNS (MONUMENT):		SIGN 'M1'	SIGN 'M2'	SIGN 'M3'	SIGN 'M4'	SIGN 'M5'
§ 700-84.A(2)	TOTAL MONUMENT SIGNS	7 MONUMENT SIGNS (V)				
	MINIMUM SETBACK: 5 FT	47.6 FT	43.7 FT	42.6 FT	47.3 FT	5.0 FT
	MAXIMUM HEIGHT: 5 FT	8.92 FT (V)	5.44 FT (V)	5.44 FT (V)	5.04 FT (V)	6.00 FT (V)
	MAXIMUM AREA (PER SIDE): 25 SF	2.29 SF	22.90 SF	6.72 SF	2.16 SF	19.17 SF
	NUMBER OF FACES	1	1	1	1	2
--						
GROUND SIGNS (PYLON):		SIGN (SIGN 'P1') (EN)				
§ 700-79.R	PYLON SIGNS ARE PROHIBITED WITH A HEIGHT GREATER THAN FIVE FT AND SUPPORTED FROM THE GROUND.	2 FACES				
WALL SIGN (FLAT):		SIGN 'W1'	SIGN 'W2'	SIGN 'W3'	SIGN 'W4'	SIGN 'W5'
§ 700-83.A(1)	MAXIMUM HEIGHT: LOWER THAN ROOFLINE	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES
	MAXIMUM AREA (PER SIDE): N/A	60.00 SF	24.00 SF	20.27 SF	60.00 SF	19.63 SF
	LESS THAN 9 INCH PROJECTION FROM WALL	COMPLIES	COMPLIES	COMPLIES	COMPLIES	COMPLIES
WALL SIGN (AWNING):		SIGN 'A1'	SIGN 'A2'	TOTAL	PERCENT	
§ 700-90.2.B(1.D)	AWNING SIGNS SHALL NOT REPRESENT MORE THAN 35% OF TOTAL PERMITTED SURFACE DISPLAY AREA	2 SIGNS 7.07 SF EA.	4 SIGNS 9.00 SF EA.	6 SIGNS 50.14 SF	40.7% (V)	
§ 700-90.2.B(1.E)	NO LETTERING AND LOGO PERMITTED ON AWNINGS	LOGO (V)	LOGO (V)	--	--	
§ 700-90.2.B(1.I)	MAXIMUM HEIGHT: 12 FT	13.83 FT (V)	13.83 FT (V)	--	--	
	MINIMUM HEIGHT: 7.5 FT	COMPLIES	COMPLIES	--	--	

* TOTAL SIGN AREA CALCULATED BY BUILDING WIDTH (EXCLUDING AWNING) MULTIPLIED BY 1.5
82.1 FT * 1.5 = 123.15 SF
(V) VARIANCE REQUIRED
(EN) EXISTING NON-CONFORMING; VARIANCE REQUIRED

SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	PROPOSED CURB
	PROPOSED DEPRESSED CURB
	PROPOSED FLUSH CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED HANDRAIL
	PROPOSED BUILDING DOORS
	PROPOSED TABLE
	PROPOSED BIKE RACK
	PROPOSED FULL DEPTH ASPHALT

- GENERAL NOTES**
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 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
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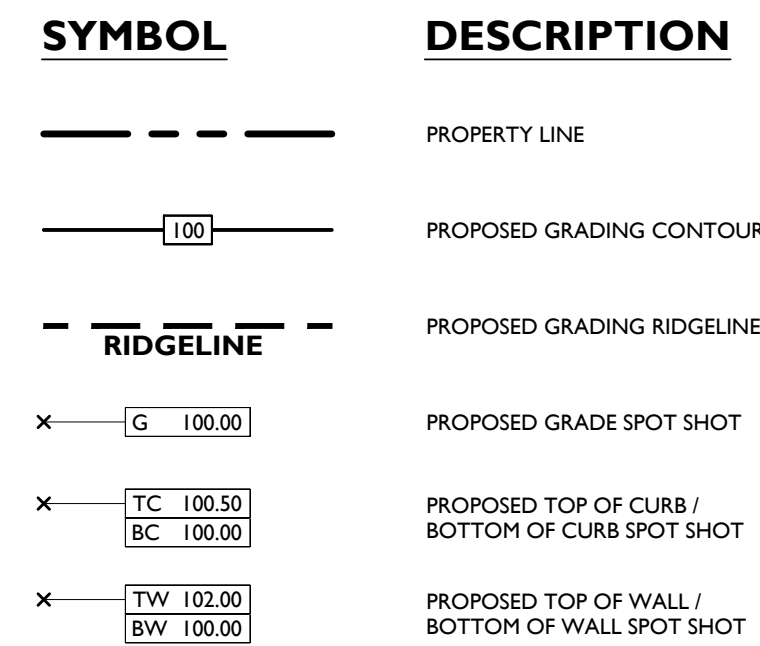
SCALE: 1" = 20' PROJECT ID: T-18177

TITLE:

TENANT SIGNAGE
PLAN

DRAWING:

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1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. ALL GROUNDWATER DE-WATERING ACTIVITIES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER TO THE RECEIVING BODY OF WATER. THE CONTRACTOR SHALL OBTAIN A CERTIFIED CLEAN FILM. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FIL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR SHALL MAINTAIN TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND ADJACENT AREAS OF THE SITE.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL SUPPLY ALL NECESSARY CURB GRADING WHAT'S STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AGENCY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - a. CURB CUTTERS: 0.50%
 - b. CONCRETE SURFACES: 1.00%
 - c. ASPHALT SURFACES: 1.00%
6. MINIMUM SLOPE 1:100 SHALL BE PROVIDED AROUND ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT. IT IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE EXCAVATION, THE SPOILING AND CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED TO THE STORM SEWER AND SHALL BE REVIEWED AND APPROVED FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AREAS.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE TO THE MAXIMUM PERMISSIBLE SLOPE FOR CURBS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDE, BUT ARE NOT LIMITED TO THE TOP AND BOTTOM OF THE RAMP, AND AT ANY ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE CLEAR WIDTH SHALL BE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE TO THE MAXIMUM PERMISSIBLE SLOPE FOR CURB RAMP FLARES ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR CURB RAMP FLARES, A CURB RAMP FLARE SHALL HAVE A MAXIMUM GRADING AREA THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMP SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH SHALL BE A MINIMUM OF 60 INCHES.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL COMPLY WITH COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 6 INCHES WITHOUT A HANDRAIL. LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND RAMP.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, THE CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 1/4 INCHES VERTICAL BE LEVELLED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HOLES) OR SEPARATIONS ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



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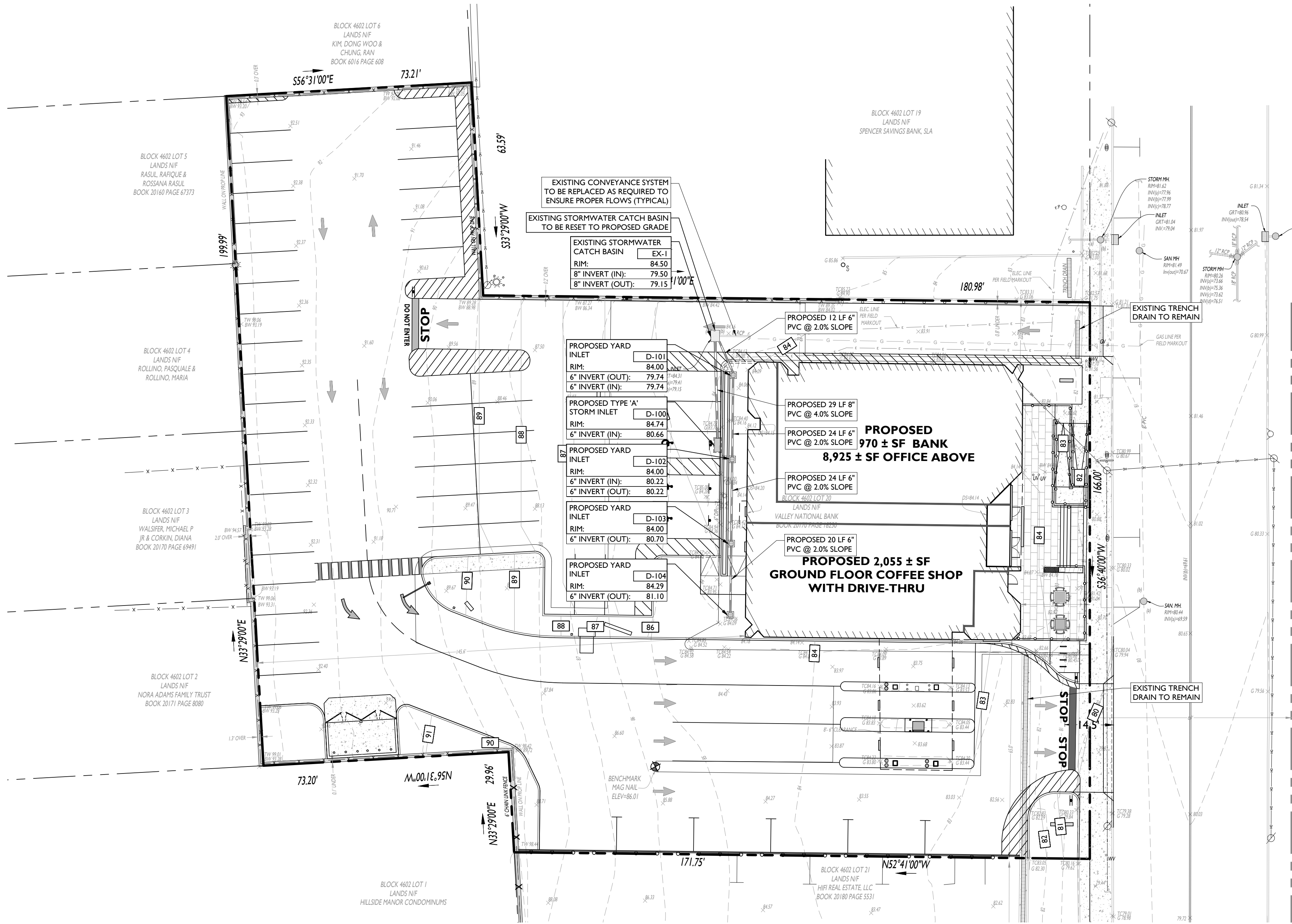
**BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY**



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T:\2018\18177 REMOVAL\QUOTES\371 FRANKLIN AVENUE\NUTLEY\NCA\DRP\LOTSDP\DWG

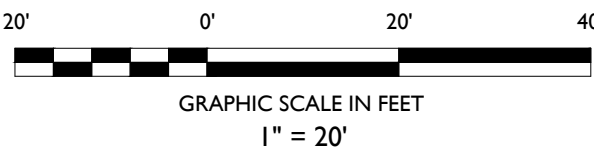


PROPOSED SANITARY SEWER AND DOMESTIC WATER DEMAND (SPREADSHEET UPDATED AUGUST 13, 2018)					
PROJECT:		371 North Franklin Avenue		LAST REVISED: 4/17/2020	
PERFORMED BY: SS		CHECKED BY: JL		JOB REFERENCE:	
SIGNATURE:					
NJDEP SANITARY SEWER PROJECTED DEMAND					
USE TYPE	UNIT TYPE	GPD PER UNIT	UNITS	GPD	
Miscellaneous: Office Building	Square Footage	0.1	11,900	1,190	
Restaurants: Fast Food	Seat	15	60	900	
All flow values are based on N.J.A.C. Title 5, Chapter 21, Subchapter 5.2 "Projected Flow Criteria"				TOTAL:	2,090 GPD
NJDEP DOMESTIC WATER PROJECTED DEMAND					
USE TYPE	UNIT TYPE	GPD PER UNIT	UNITS	GPD	
Store, office building	Square Footage	0.125	11,900	1,488	
Restaurant: Kitchen and sanitary demand	Person	10	60	600	
All flow values are based on N.J.A.C. Title 5, Chapter 10, Subchapter 12.6 "Water Volume Requirements"				TOTAL:	2,088 GPD

EXISTING BUILDING UTILITY AND
ROOF LEADER CONNECTIONS /
LOCATIONS TO BE REUTILIZED

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC, AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED TRENCH DRAIN
	PROPOSED STORM PIPE
	EXISTING TRENCH DRAIN
	EXISTING INLET
	PROPOSED CONTOUR
	PROPOSED RIDGELINE



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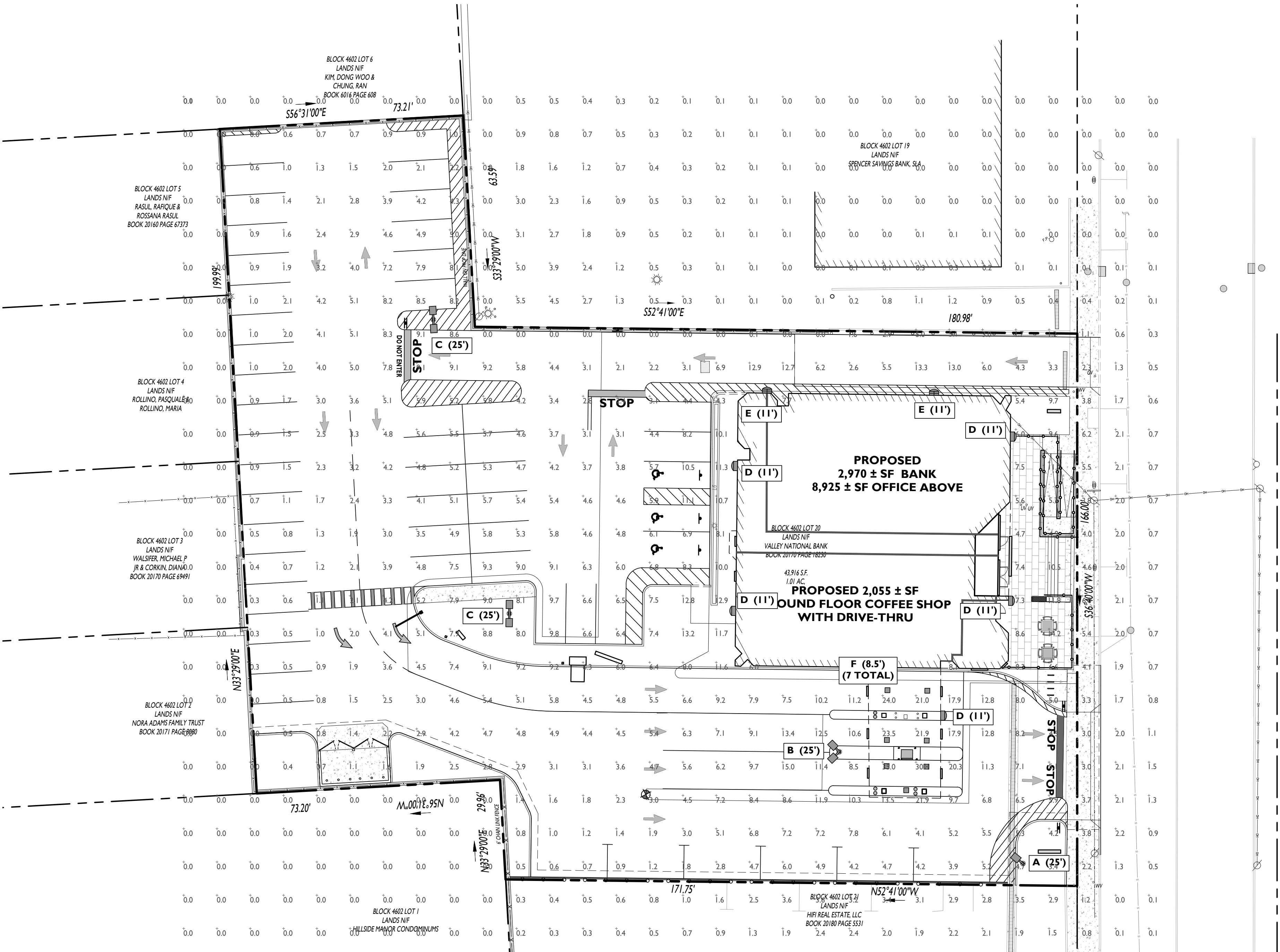
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DRAINAGE & UTILITY
PLAN

DRAWING:

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PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LUMENS	LLF	MANUFACTURER
	A	1	GE EVOLVE LED AREA LIGHT - 5,000K - 239 WATTS	IV	30K	0.90	GE LIGHTING
	B	1	GE EVOLVE DOUBLE 90° LED AREA LIGHT - 5,000K - 186 WATTS	IV	25K	0.90	GE LIGHTING
	C	2	GE EVOLVE DOUBLE 180° LED AREA LIGHT - 5,000K - 239 WATTS	IV	30K	0.90	GE LIGHTING
	D	5	GE EVOLVE LED WALL LIGHT - 5,000K - 125 WATTS	IV	13.7K	0.90	GE LIGHTING
	E	2	GE EVOLVE LED WALL LIGHT - 5,000K - 89 WATTS	III	10.5K	0.90	GE LIGHTING
	F	7	GE EVOLVE RECESSED LED CANOPY LIGHT - 5,000K - 35 WATTS	V	4,230	0.90	GE LIGHTING
							IES FILE

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 700-46.B(3)	MAXIMUM HEIGHT LIMITATION WITHIN THE B-3 DISTRICT OF 40 FT ARE APPLICABLE TO LIGHT FIXTURES	25 FT



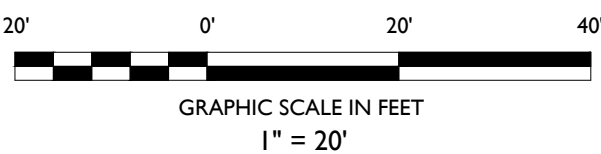
NORTH FRANKLIN AVENUE
(60' WIDE PUBLIC RIGHT-OF-WAY)
(PER TAX MAP)
(ASPHALT PAVEMENT)

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER, ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
- THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
- ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
- EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



LIGHTING AT GRADE

SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT
	PROPOSED CANOPY LIGHT

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PRELIMINARY & FINAL SITE PLAN
PROPOSED PARKING LOT AND
ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: T-18177

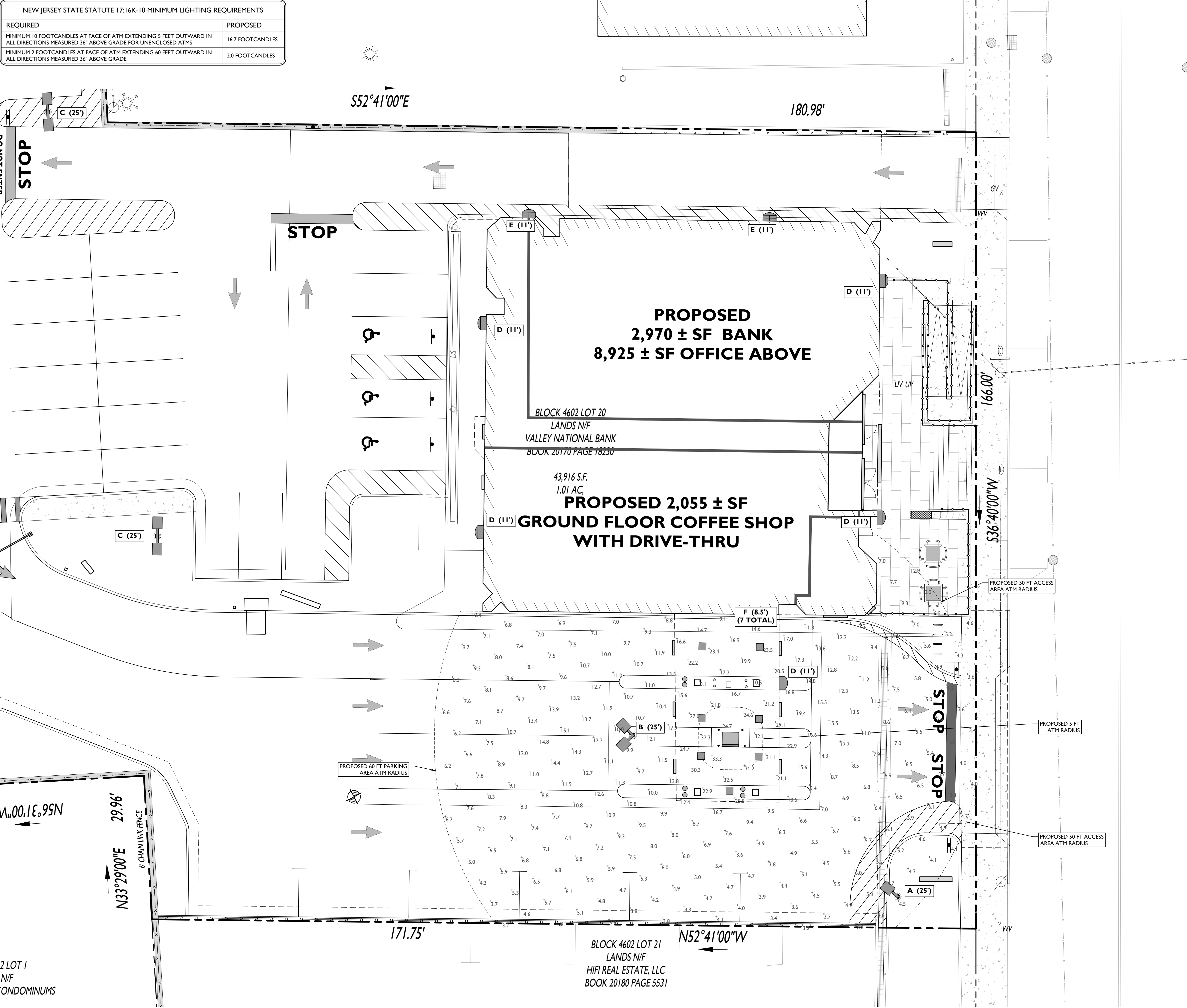
TITLE:

LIGHTING PLAN

DRAWING:

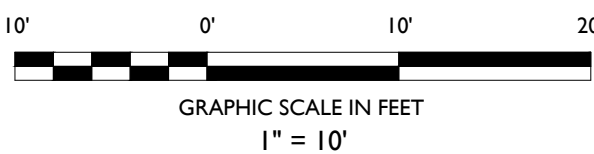
C-8

NEW JERSEY STATE STATUTE 17:16K-10 MINIMUM LIGHTING REQUIREMENTS	
REQUIRED	PROPOSED
MINIMUM 10 FOOTCANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE FOR UNENCLOSED ATMS	16.7 FOOTCANDLES
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 60 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	2.0 FOOTCANDLES



SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
[Symbol]	PROPOSED AREA LIGHT
[Symbol]	PROPOSED BUILDING MOUNTED LIGHT
[Symbol]	PROPOSED CANOPY LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.
- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
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2 LOT 1
N/F
'DOMINIUMS

BLOCK 4602 LOT 21
LANDS N/F
HIFI REAL ESTATE, LLC
BOOK 20180 PAGE 5531

LIGHTING AT 36" ABOVE GRADE

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**PROPOSED PARKING LOT AND
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371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
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CHARLES D. OLIVO, P.E.
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LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 10' PROJECT ID: T-18177

TITLE:
**SECURITY LIGHTING
PLAN**


DRAWING:

C-9

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

WIDE PUBLIC RIGHT-OF-WAY)
(PER TAX MAP)
(ASPHALT PAVEMENT)

20' 0' 20' 40'



GRAPHIC SCALE IN FEET
1" = 20'

20' 0' 20' 40'

GRAPHIC SCALE IN FEET
1" = 20'

SCALE: 1" = 20' | **PROJECT ID:** T-18177

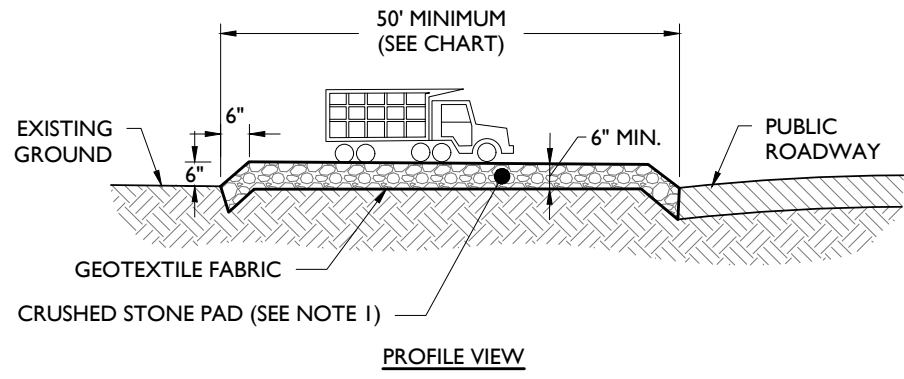
LANDSCAPING PLAN

DRAWING:

C-10

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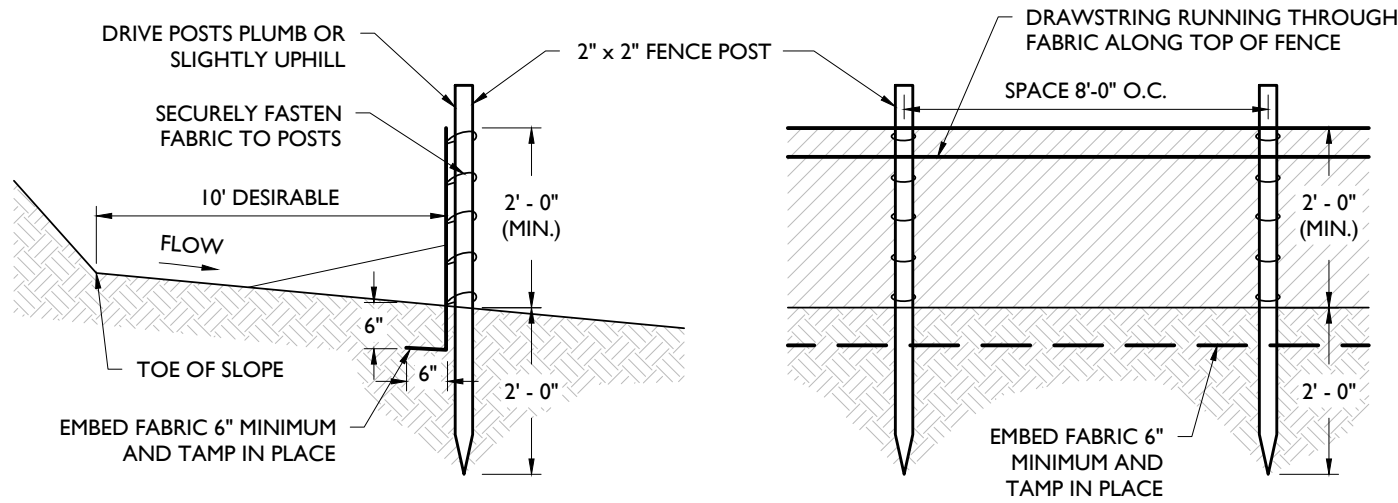


SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

- NOTES:
- STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 - WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 - STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 - WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 - CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

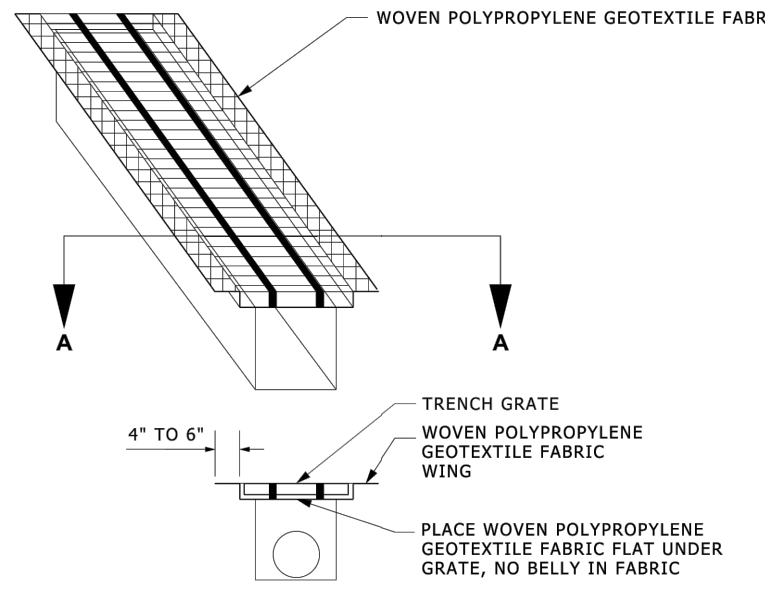
NOT TO SCALE



- NOTES:
- SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 - GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN) AND TAMP IN PLACE.
 - SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 - SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE

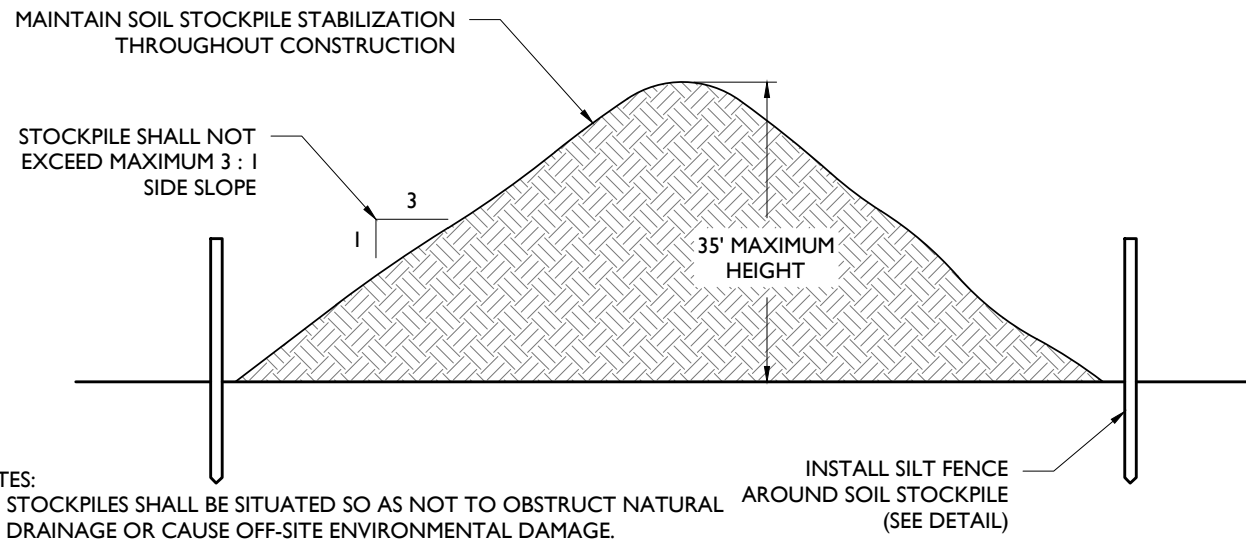


SECTION A-A TRENCH DRAIN CROSS-SECTION

TRENCH DRAIN FILTER FABRIC DETAIL

NOT TO SCALE

- NOTES:
- CONTRACTOR TO INSTALL FILTER FABRIC UNDER TRENCH DRAIN AS SHOWN.
 - PROVIDE 4" TO 6" OVERHANG OF FILTER FABRIC.



- NOTES:
- STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 - STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	URBAN LAND, DUNELLEN (URDUN)
PERCENT OF SITE COVERAGE	61.2%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	8.23 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	URBAN LAND, BOONTON (USBOB)
PERCENT OF SITE COVERAGE	38.8%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	1.06 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

- FLOOD HAZARD AREA NOTES:
- THERE ARE NO RIPARIAN ZONES ON SITE.
 - THERE ARE NO FLOODWAYS ON SITE.
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.

- SEQUENCE OF CONSTRUCTION
- INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE (2 DAYS).
 - DEMOLISH EXISTING STRUCTURES, PAVEMENT, AND GRAVEL (15 DAYS).
 - ROUGH GRADING AND TEMPORARY SEEDING (20 DAYS).
 - EXCAVATE AND INSTALL DRAINAGE PIPING AND INLETS (20 DAYS).
 - INSTALL INLET FILTERS (1 DAY).
 - BUILDING CONSTRUCTION AND SITE IMPROVEMENTS (180 DAYS).
 - CONSTRUCT RIGHT OF WAY IMPROVEMENTS (2 DAYS).
 - LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (7 DAYS).
 - REMOVE SOIL EROSION MEASURES (1 DAY).
- NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

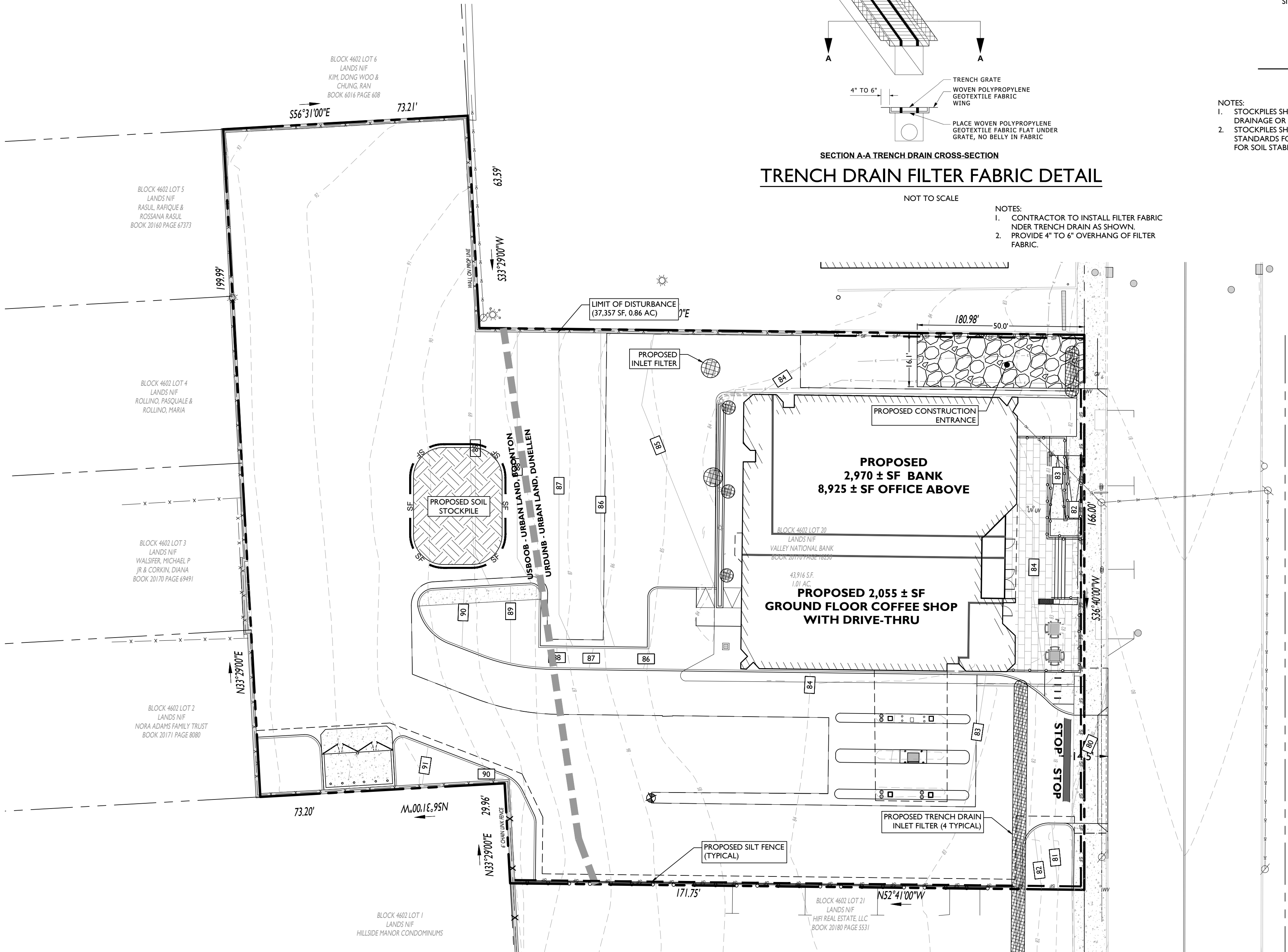
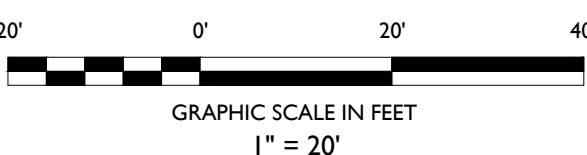
SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	LOD
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER
---	PROPOSED TRENCH DRAIN FILTER FABRIC

SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

HUDSON - ESSEX - PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED, AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER AS PER APPENDIX A3. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPCSD: SPRING - 3/1 - 5/15 AND FALL - 8/15 - 10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING TIE DOWN, OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862)-333-4507 OR EMAIL - INFORMATION@HEPCSD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, EFFECTIVE DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.



T:\2018\1177 NEWARK QUINCY - 371 FRANKLIN AVENUE, NUTLEY, NJ\4002 LOT 20P - 1.582.DWG

FOR MUNICIPAL RESUBMISSION		FOR MUNICIPAL SUBMISSION		BY	DATE	ISSUE	DESCRIPTION
		SS	05/13/2020				
		MPZ	02/07/2020				
		02	01				

NOT APPROVED FOR CONSTRUCTION

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NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: T-18177

TITLE:
**SOIL EROSION &
SEDIMENT CONTROL
PLAN**

DRAWING:

C-12



- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



- | | | | | | |
|----------------------------------|-------------------------------|----------------------------------|-------------------------------|----------------------------------|--|
| LANDING
1:50 MAXIMUM
SLOPE | RAMP
1:12 MAXIMUM
SLOPE | LANDING
1:50 MAXIMUM
SLOPE | RAMP
1:12 MAXIMUM
SLOPE | LANDING
1:50 MAXIMUM
SLOPE | NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
2. CROSS CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL |
| | | FLUSH CURB | | | |



- NOTES:
1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. $\frac{1}{2}$ " EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 50 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED $\frac{1}{4}$ " FROM SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 3. 1" DEEP AND $\frac{1}{2}$ " WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS, OR 30 FOOT MAX.



- HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



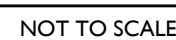
NOTE:

1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

NOT TO SCALE



- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE $\frac{1}{4}$ " PER FOOT.
 2. $\frac{1}{4}$ " EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED $\frac{1}{4}$ " FROM THE SURFACE.
 3. 1" DEEP BY $\frac{1}{4}$ " WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOIN SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



- NOTES:
1. BIKE RACK TO BE MANUFACTURED BY DERO BIKE RACKS OR APPROVED EQUAL.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

WEIGHT

Standard Security Enclosures	CEN Grade 1
Maximum weight	850 kg (1871 lb.)
Flow Rating	1000 kg/m ² (208.8 lb./ft ²)

SECURITY BOLTS

The island or base must be capable of withstanding the loading imposed by the anchor points for the bolts. Bolts and anchors must be supplied by the owning organization.

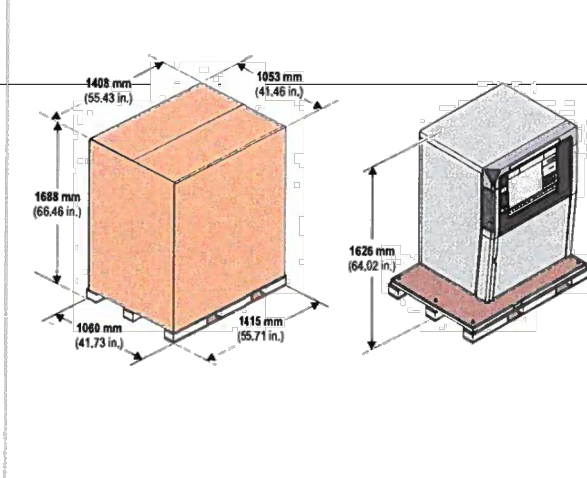
To ensure conformity to DIN 1541:1 Anchoring Strength Test, it is recommended that the ATM is bolted to the island, or base, through all six of the security enclosure bolt holes, using bolts with anchor washers as specified below. Bolts and anchor washers are to be supplied by the owning organization.

Make sure that the island, or base, is capable of withstanding the loading imposed by the anchor points for these bolts.

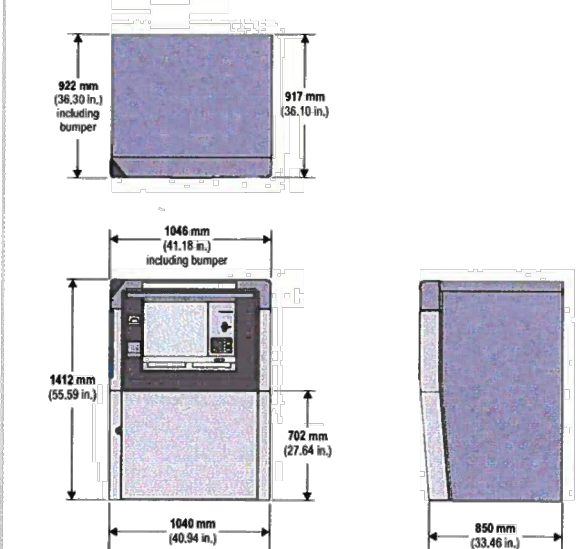
If an adjustable plinth is used, it must be bolted to the island, or base, to the same specification as the ATM.

- The minimum specification for bolts and washers to secure the ATM is:
- Bolts
 - Type - either resin anchor or shield anchor bolts
 - Size - M16 (5/8 in.)
 - Minimum Length - 150 mm (5.9 in.)
 - Strength - high tensile (minimum ISO property class 8.8)
 - Washers
 - Type - flat, steel (as per DIN 7349 or equivalent)
 - Size - M16 (5/8 in.)
 - Outer diameter - no greater than 40 mm (1.58 in.)
 - Thickness - 6 mm (0.2 in.)

PACKAGE DIMENSIONS



ATM DIMENSIONS

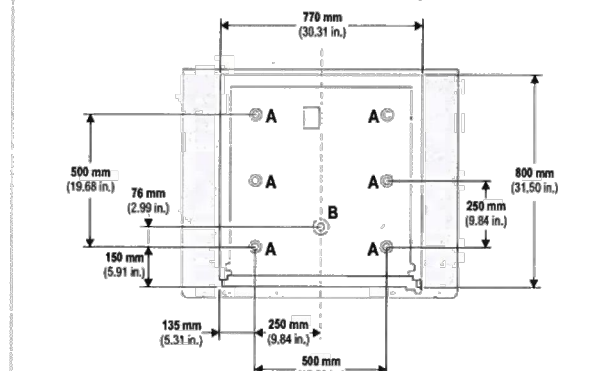


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BOLT HOLES

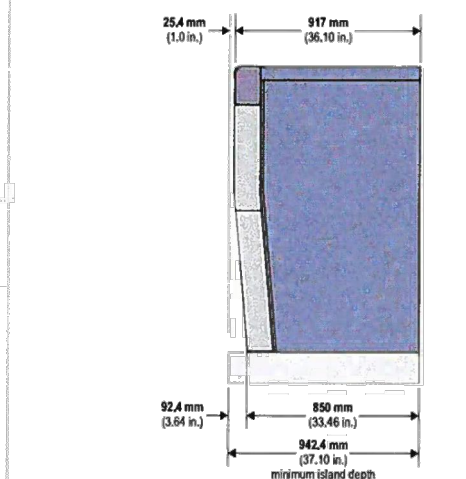
The ATM should be bolted to the floor or plinth, through the holes marked 'A', using the six bolts with anchor washers.

The hole marked 'B' enables a security sensor to be fitted.



ATM POSITION ON ISLAND

The illustration below shows the dimensions for the minimum island size. NCR recommends that the base of the ATM be positioned 92.4 mm (3.64 in.) from the front of the island, so that the front bollards are in line with the fascia surround (refer to Island Dimensions and Bollard Locations illustration).



CABLE ENTRY

Cables enter the ATM through a hole in the base of the security enclosure. There should be a conduit hole in the island of sufficient size to allow the cables to be pulled ready to be brought into the security enclosure.

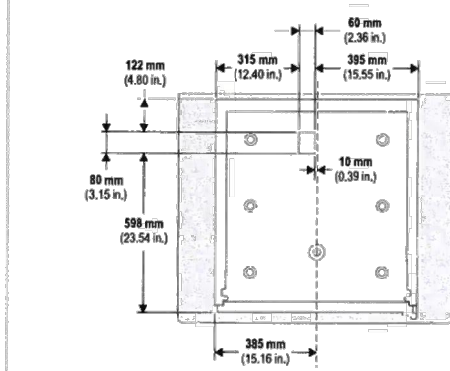
Make sure that the island conduit hole is free from any material that may impede the cables. The hole should not be sealed or filled with concrete.

The actual conduit hole may be larger than that shown depending on the installation.

Distribution boxes and any power and wiring conduits must not protrude above the surface of the island.

ATM Cable Entry

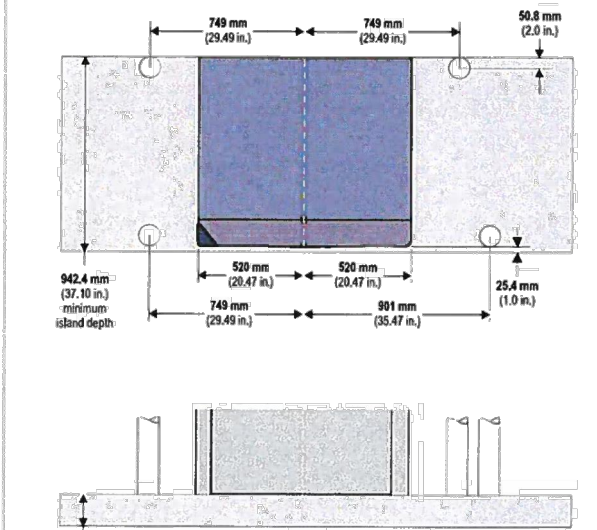
CEN Security Enclosure



ISLAND DIMENSIONS AND BOLLARD LOCATIONS

The illustration below shows the dimensions for the minimum island size. NCR recommends that the rear bollards are 302 mm (12.0 in.) in diameter, and positioned in line with the rear of the ATM, front bollards are 102 mm (4.0 in.) in diameter and positioned 25.4 mm (1.0 in.) back from the front of the island.

When locating the bollards allow sufficient working space for servicing the air conditioning unit.



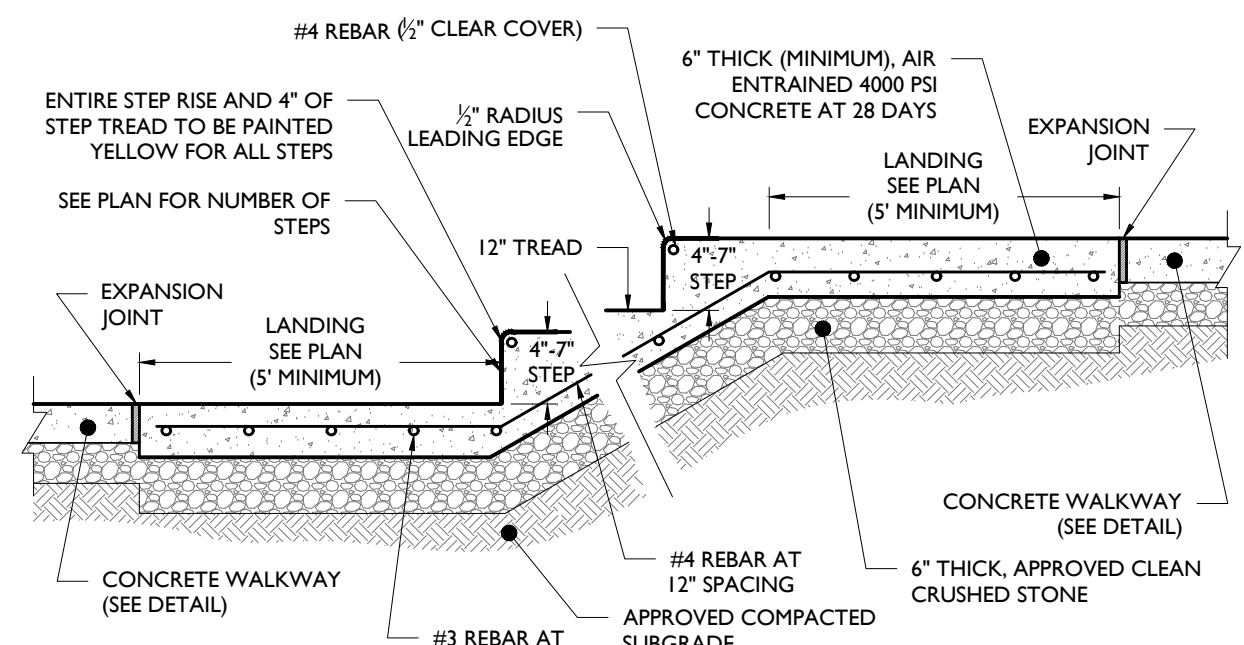
Anti-theft Bollards

If anti-theft bollards (also known as anti-lashing bollards) are to be fitted, the bollard exclusion zone around the ATM must be complied with to allow sufficient access for removing panels, refer to the Servicing Area section.

ATM INSTALLATION DETAILS

NOT TO SCALE

2

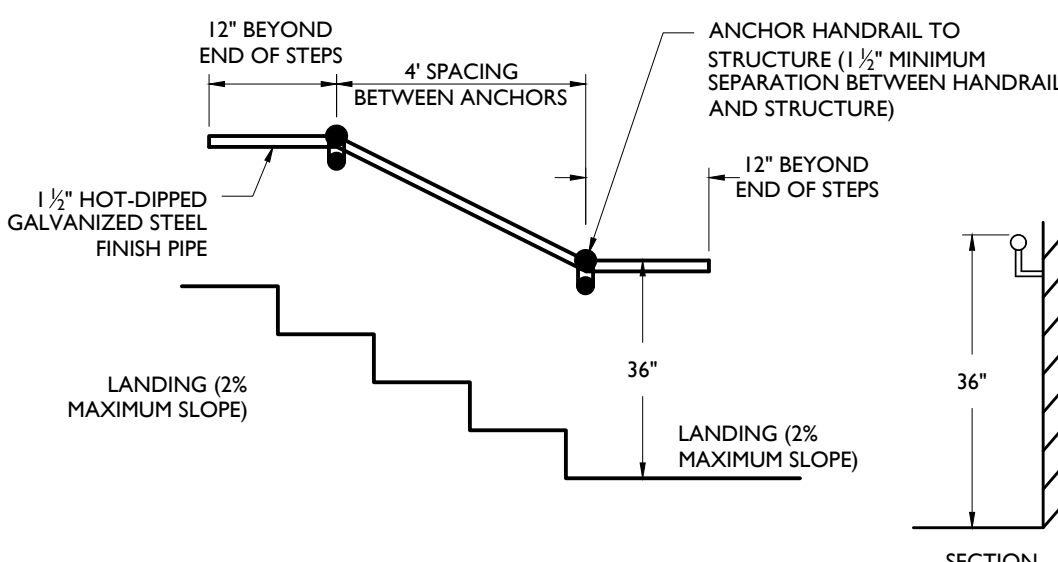


CONCRETE STEPS & ELEVATED LANDING DETAIL

NOT TO SCALE

- NOTES:
1. CONTRACTOR SHALL ENSURE 3" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO EARTH AND 2" MINIMUM EMBEDMENT FOR REBAR EXPOSED TO WEATHER (SURFACE). NOSING REBAR TO BE EMBEDDED 1 1/2".
 2. CONTRACTOR SHALL MAINTAIN A MAXIMUM 1:50 SLOPE IN ALL DIRECTIONS WITHIN PROPOSED CONCRETE LANDINGS.
 3. STEPS IN SERIES SHALL HAVE UNIFORM RISER HEIGHT.

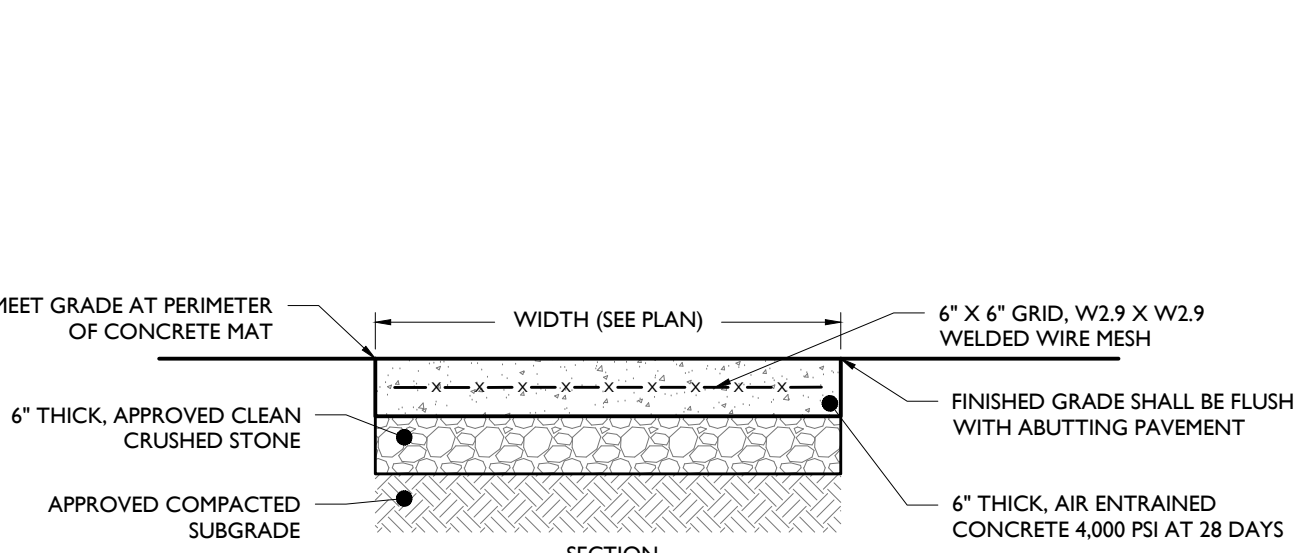
4



HANDRAIL DETAIL MOUNTED TO STRUCTURE ADJACENT TO STEPS

NOT TO SCALE

5

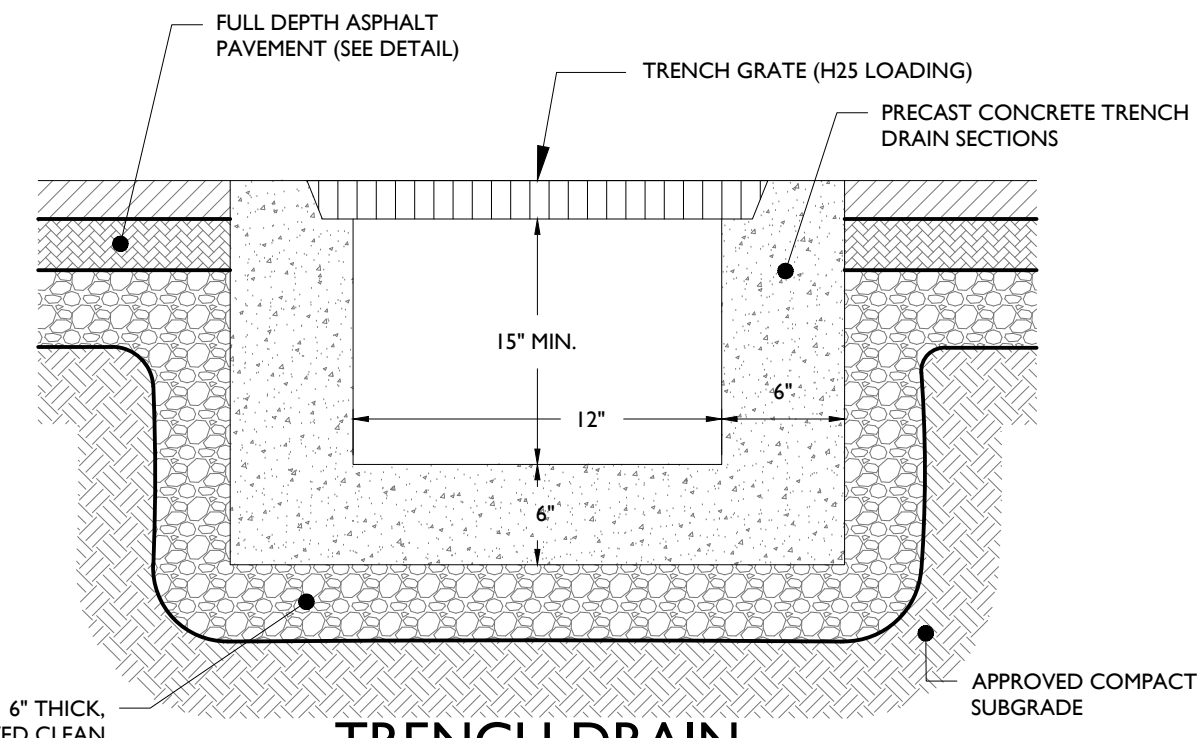


REINFORCED 6" CONCRETE MAT

NOT TO SCALE

- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 2. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

8

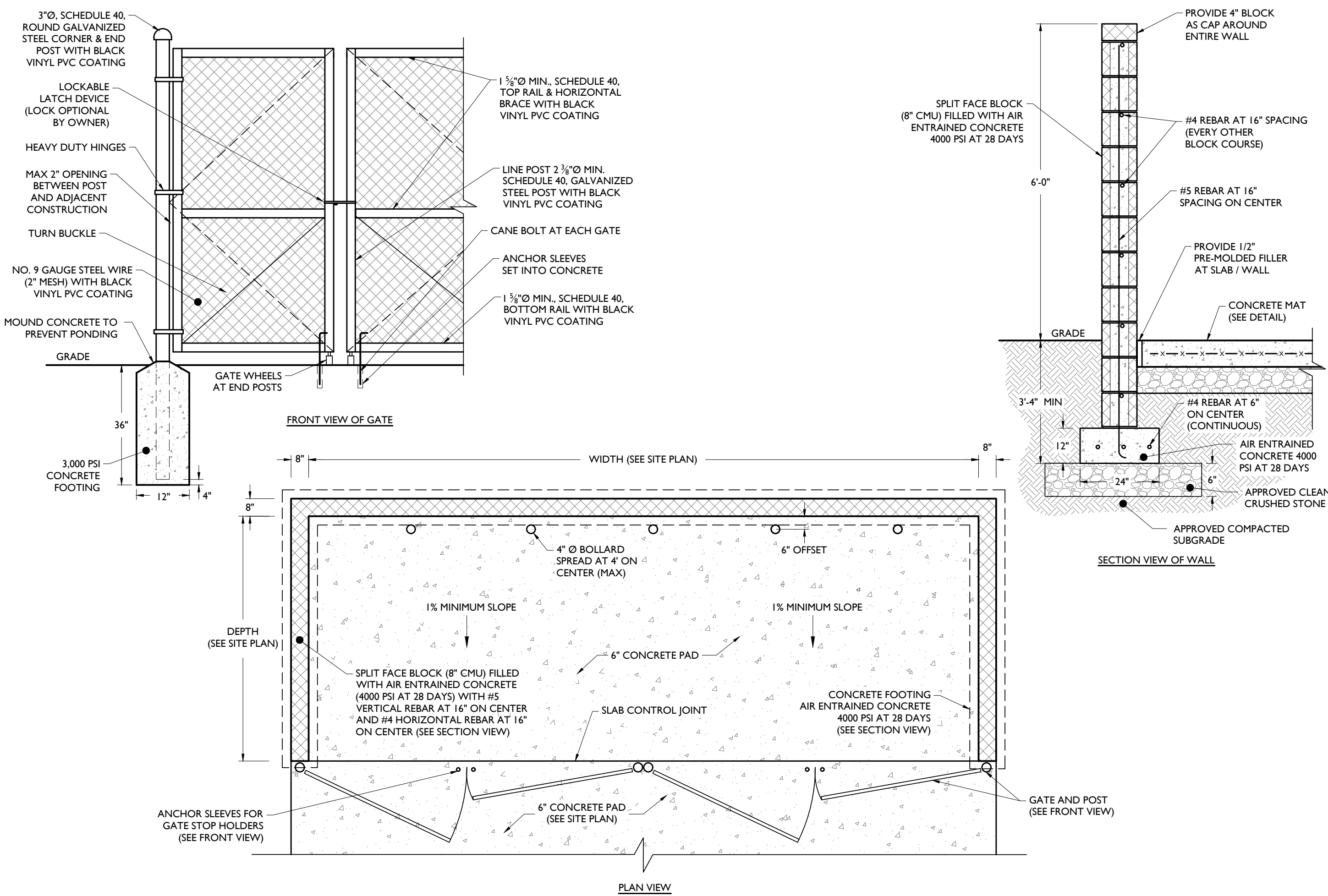


TRENCH DRAIN

NOT TO SCALE

- NOTE:
1. SEE DRAINAGE PLAN FOR DIRECTION OF INTERNAL DRAINAGE FLOWS. INTERNAL DEPTH TO VARY TO PROVIDE 0.5% SLOPE IN DIRECTION NOTED ON PLAN.

9

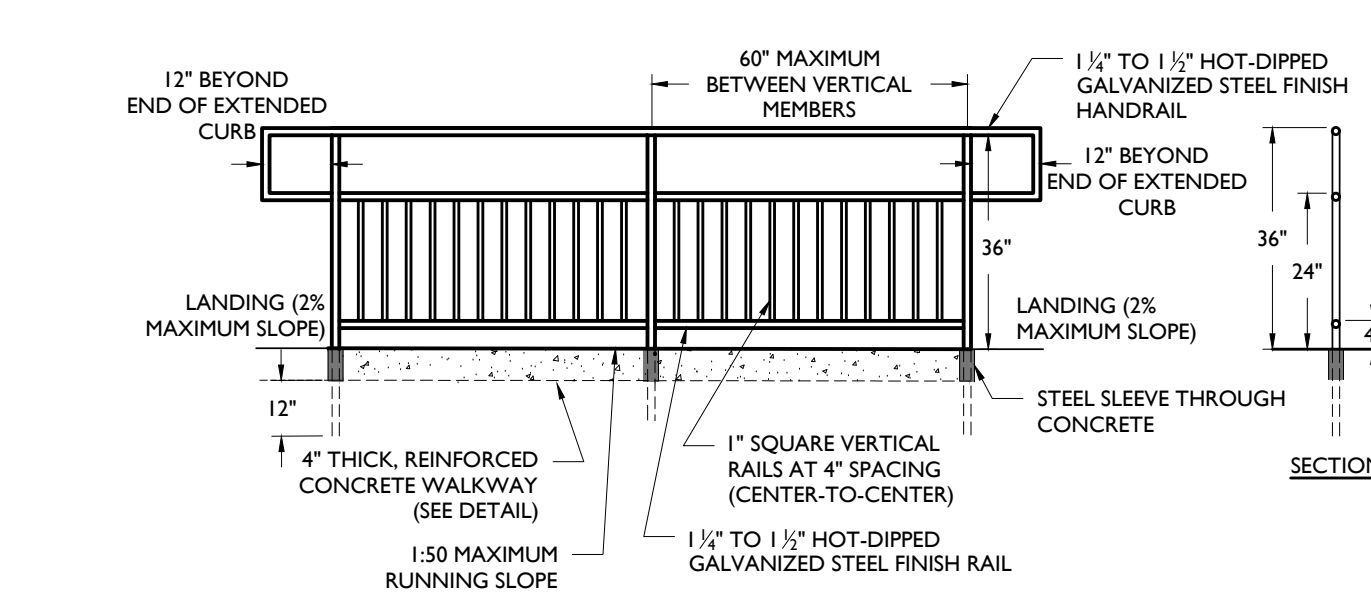


NOTE:
BLOCK COLOR TO MATCH BUILDING OR AS SPECIFIED BY OWNER

DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

3

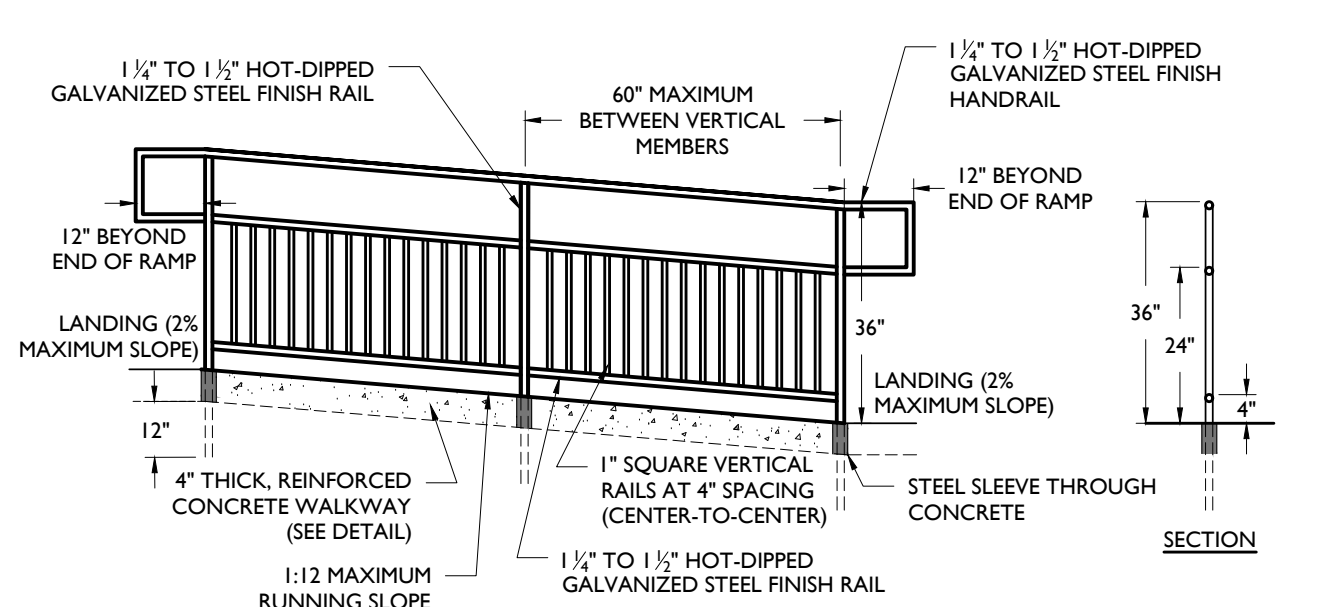


HANDRAIL DETAIL ON WALKWAY

NOT TO SCALE

- NOTES:
1. SEE PLAN FOR RAMP DIMENSIONS
 2. GRIND ALL WELDS SMOOTH
 3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
 4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS
 5. RAMPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.

6

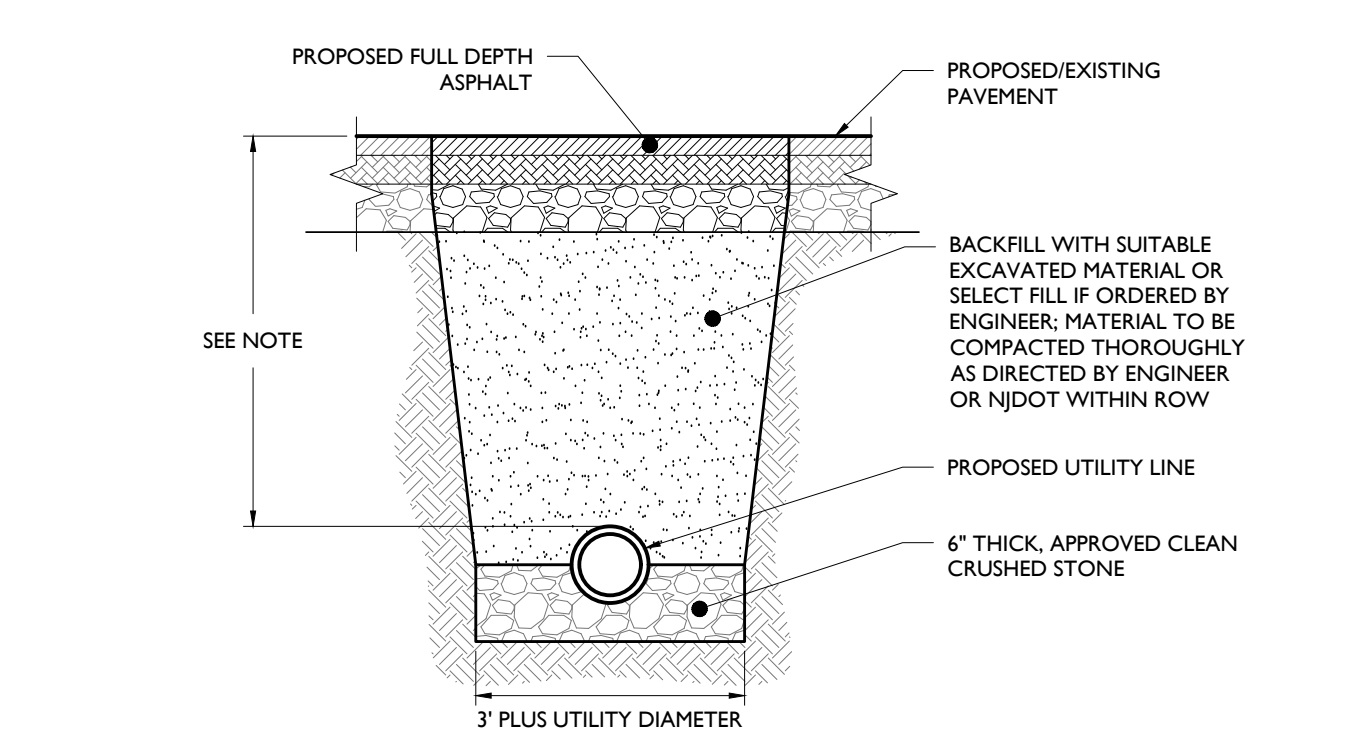


HANDRAIL DETAIL ON RAMP

NOT TO SCALE

- NOTES:
1. SEE PLAN FOR RAMP DIMENSIONS
 2. GRIND ALL WELDS SMOOTH
 3. HANDRAIL TO BE INSET 6" FROM EDGE OF CONCRETE
 4. 30" MAXIMUM RISE IN ELEVATION BETWEEN LANDINGS
 5. RAMPS SHALL HAVE RAILINGS ON BOTH SIDES WITH 36" MINIMUM CLEARANCE BETWEEN RAILS.

7

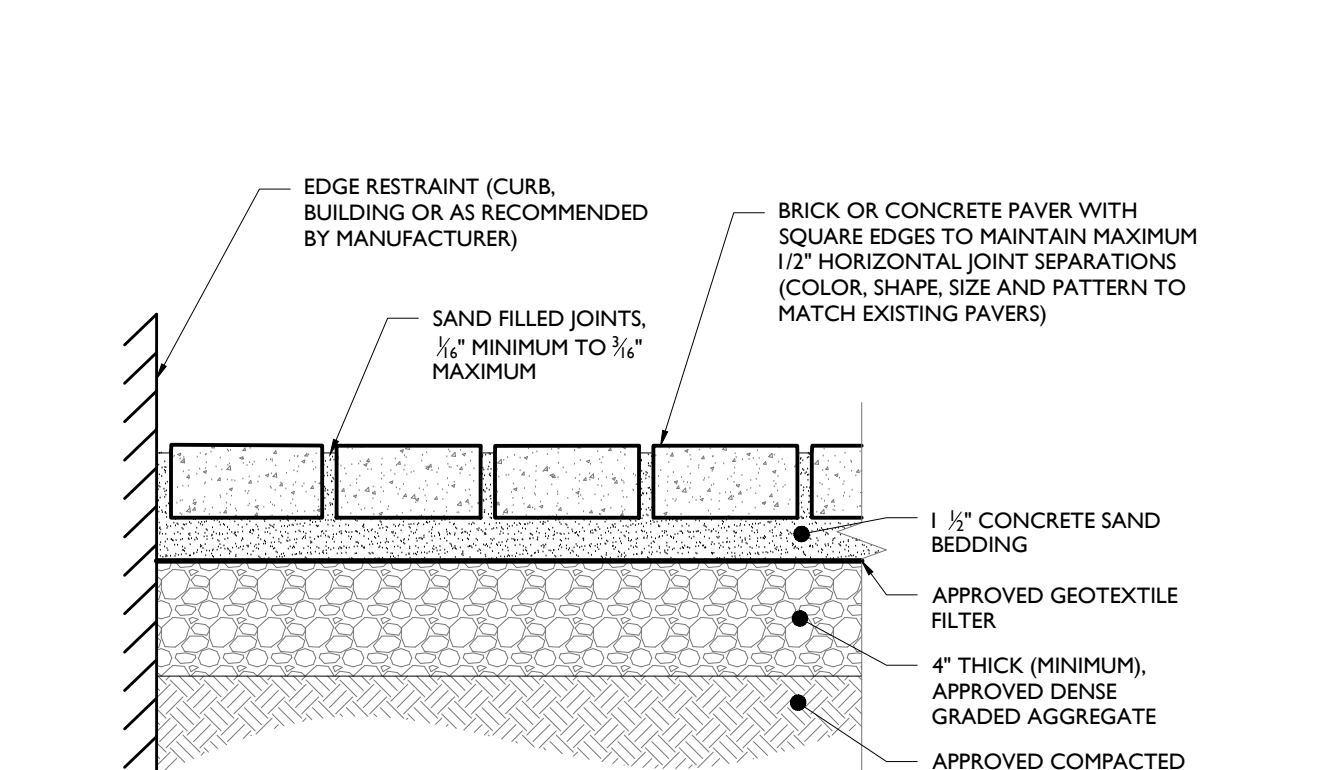


STORMWATER TRENCH DETAIL (PAVED AREA)

NOT TO SCALE

- NOTE:
1. MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
• WATER - 48" MIN.
• STORM DRAIN - SEE DRAINAGE PLAN

10

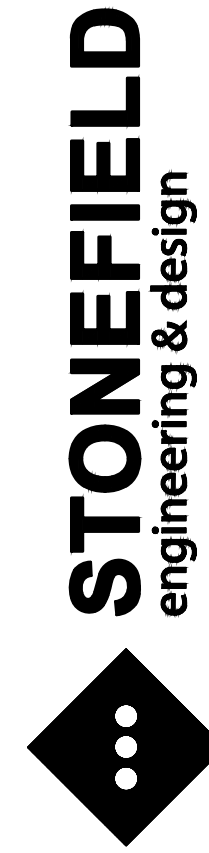


BRICK PAVER WALKWAY DETAIL

NOT TO SCALE

11

NOT APPROVED FOR CONSTRUCTION



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Phone 201.340.4468 • Fax 201.340.4472

PRELIMINARY & FINAL SITE PLAN
PROPOSED PARKING LOT AND
ASSOCIATED SITE IMPROVEMENTS

BLOCK 4602, LOTS 20 & 24
371 NORTH FRANKLIN AVENUE
TOWNSHIP OF NUTLEY
ESSEX COUNTY, NEW JERSEY

CHARLES D. OLIVO, P.E.
NEW JERSEY LICENSE No. 46719
LICENSED PROFESSIONAL ENGINEER



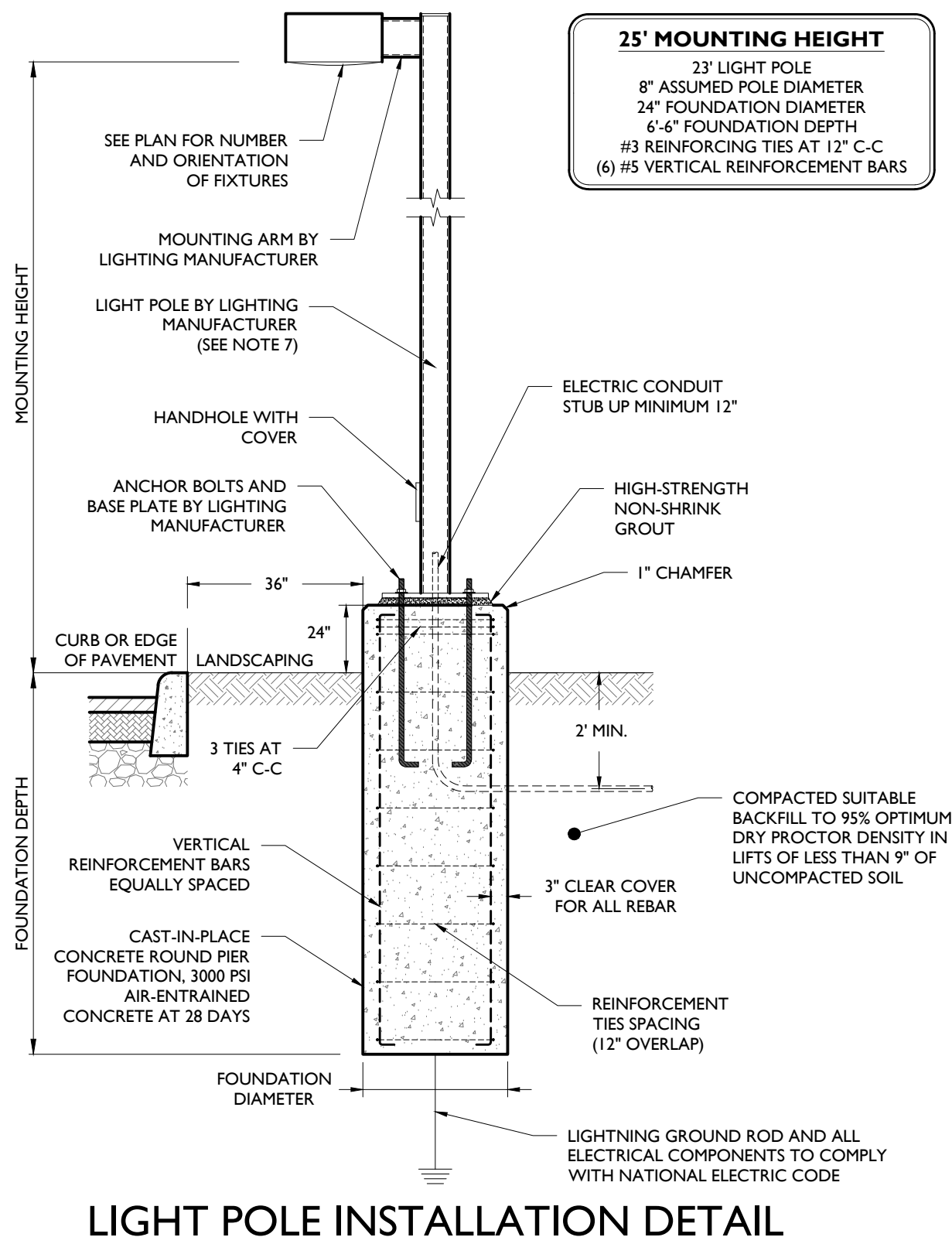
SCALE: AS SHOWN PROJECT ID: T-18177

TITLE:

CONSTRUCTION
DETAILS

DRAWING:

C-14



- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSI/ASCE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Ordering Number Logic

Evolve LED Wall Pack N Series (EWN)

PROD. ID	PHOTOMETRIC	VOLTAGE	OPTICAL	CR	LENS COLOR	FE FUNCTION	MOUNTING	COLOR	OPTIONS
E = Evolve W = Wall Pack N = Housing Series	B = Photometric Series "B" 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	0 = 120-277V 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	0 = 120-277V 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	0 = 120-277V 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	0 = 120-277V 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	0 = 120-277V 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	0 = 120-277V 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V	0 = 120-277V 1 = 120-277V 2 = 208 3 = 240 4 = 277 5 = 480 6 = 347-480V

LED Accessories (to be ordered separately)			
SKU Number	Part Number	Description	
33029237	PE0-MV-LED-7	ANSI C136-61 Dimming PE, 120-277V	
33029238	PE0-347-LED-7	ANSI C136-61 Dimming PE, 347V	28299
33029239	PE0-480-LED-7	ANSI C136-61 Dimming PE, 480V	28294
			80436

